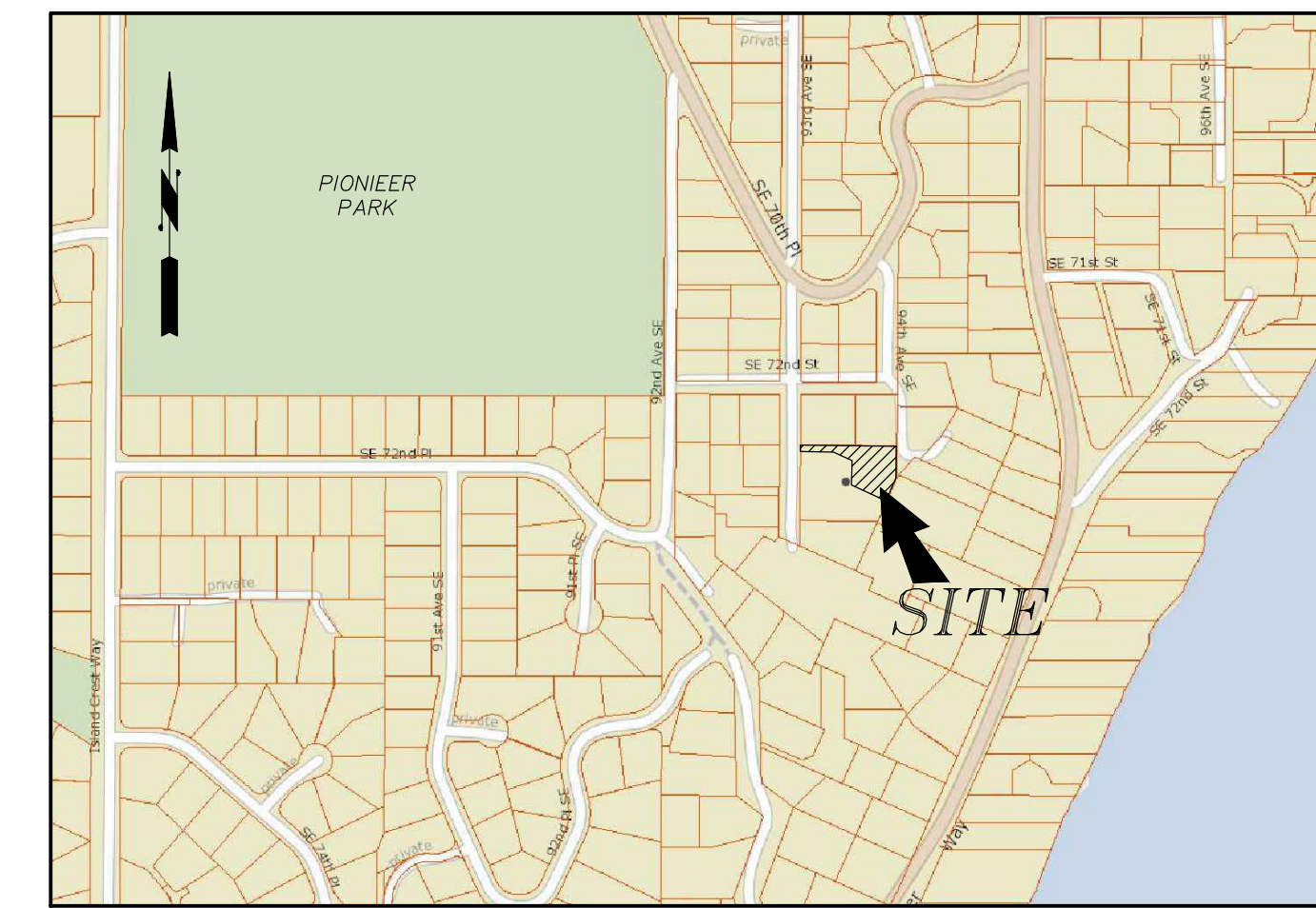


COVER SHEET

LOT 1 SFR (93RD AVE SE)



VICINITY MAP
NOT TO SCALE

GENERAL NOTES

1. A PRE-CONSTRUCTION CONFERENCE SHALL BE HELD PRIOR TO THE START OF CONSTRUCTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR SECURING ALL NECESSARY PERMITS PRIOR TO CONSTRUCTION.
2. ALL ROADWAY WORK AND MATERIAL SHALL BE IN ACCORDANCE WITH THE CURRENT APWA AND CITY OF MERCER ISLAND STANDARDS AND SPECIFICATIONS.
3. A COPY OF THE APPROVED CONSTRUCTION PLANS MUST BE ON THE JOB SITE WHENEVER CONSTRUCTION IS IN PROGRESS.
4. ALL TRENCH BACKFILL SHALL BE COMPACTED TO 95 PERCENT DENSITY IN ROADWAYS, ROADWAY SHOULDERS, ROADWAY PRISM AND DRIVEWAYS, AND 85 PERCENT DENSITY IN UNPAVED AREAS. ALL PIPE ZONE COMPACTION SHALL BE 95 PERCENT.
5. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO PROVIDE ADEQUATE TEMPORARY TRAFFIC CONTROL TO ENSURE TRAFFIC SAFETY DURING CONSTRUCTION ACTIVITIES. ALL TRAFFIC CONTROL DEVICES SHALL CONFORM TO THE "MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES" (MUTCD).
6. MEASURES SHALL BE TAKEN BY THE DEVELOPER TO PROVIDE GROUND COVER IN AREAS WITHIN THE RIGHT-OF-WAY WHICH HAVE BEEN STRIPPED OF NATURAL VEGETATION OR HAVE A POTENTIAL FOR EROSION.
7. ANY EXISTING PUBLIC IMPROVEMENTS DAMAGED DURING CONSTRUCTION SHALL BE REPLACED PRIOR TO FINAL INSPECTION.
8. THE CONTRACTOR IS RESPONSIBLE FOR KEEPING ALL PUBLIC STREETS FREE FROM MUD AND DEBRIS AT ALL TIMES.

PROJECT DATA

PROPERTY ADDRESS: 7216 93RD AVENUE SE
MERCER ISLAND, WA 98040
258190-0210
TAX LOT NUMBER: 39,144 SF (0.90 ACRES)
SITE AREA: 39,144 SF (0.90 ACRES)
ZONING: R-8.4

PROJECT TEAM

OWNER: PREMIUM HOMES OF MERCER ISLAND LLC
PO BOX 1639
MERCER ISLAND, WA 98040
(206) 724-1072
CONTACT: BOGDAN MAKSIMCHUK

ARCHITECT: McCULLOUGH ARCHITECTS
2910 FIRST AVENUE SOUTH, SUITE 201
SEATTLE, WA 98134
(206) 443-1181
CONTACT: MATT GLASER

CIVIL ENGINEER: G2 CIVIL
1375 NW MALL ST, SUITE 3
ISSAQUAH, WA 98027
(425) 821-5038
CONTACT: NICOLE MECUM, PE

SURVEYOR: INFORMED LAND SURVEYING
PO BOX 5137
TACOMA, WA 98415-0137
(253) 627-2070
CONTACT: EVAN WAHLSTROM, PLS

GEOTECHNICAL ENGINEERS: SONDERGAARD GEOSCIENCE, PLLC
13012 65TH AVENUE SE
SNOHOMISH, WA 98296
(425) 375-4727
CONTACT: JON SONDERGAARD, LEG

ROBERT M. PRIDE, LLC
13203 HOLMES POINT DRIVE NE
KIRKLAND, WA 98034
(425) 814-3970
CONTACT: ROBERT PRIDE

WETLAND CONSULTANT: WETLAND RESOURCES, INC.
9505 19TH AVENUE SE, SUITE 106
EVERETT, WA 98208
(425) 337-3174
CONTACT: NIELS PEDERSEN, PWS

ARBORIST: LAYTON TREE CONSULTING, LLC
PO BOX 572
SNOHOMISH, WA 98291-0572
(425) 220-5711
CONTACT: BOB LAYTON

LEGAL DESCRIPTION

TRACTS 20 THROUGH 22, INCLUSIVE, IN BLOCK 4 OF FLOOD'S LAKE SIDE TRACTS RECORDED IN VOLUME 34 OF PLATS, PAGE 6, RECORDS OF KING COUNTY, SITUATE IN THE COUNTY OF KING, STATE OF WASHINGTON.

HORIZONTAL DATUM

NAD 1983(2011) PER RTK GPS TIES AND THE WASHINGTON STATE REFERENCE NETWORK (WSRN). UNITS OF MEASUREMENT ARE U.S. SURVEY FEET.

VERTICAL DATUM

NAVD 1988 PER RTK GPS TIES AND THE WASHINGTON STATE REFERENCE NETWORK (WSRN). UNITS OF MEASUREMENT ARE U.S. SURVEY FEET.

SURVEYOR'S NOTES

1. THIS SURVEY WAS MADE BY FIELD TRAVERSE USING A LEICA 1203 3" ROBOTIC TOTAL STATION AND GSI4RTK GPS WITH RESULTING CLOSURES EXCEEDING THE MINIMUM ACCURACY STANDARDS AS SET FORTH BY WAC 332-130.
2. FIELD WORK FOR THIS PROJECT WAS PERFORMED ON JULY 2, 2019 AND IS THEREFORE A REFLECTION OF THE CONDITIONS AT THAT TIME. ALL MONUMENTS WERE VISITED OR SET ON JULY 2, 2019. THIS SITE CONTAINS IMPROVEMENTS NOT LOCATED OR SHOWN AS A PART OF THIS SURVEY.

SHEET INDEX

1. COVER SHEET
2. T.E.S.C. PLAN
3. TREE RETENTION PLAN
4. SITE IMPROVEMENT PLAN
5. C.O.M.I. STANDARD DETAILS
6. OFF SITE STORM EXTENSION

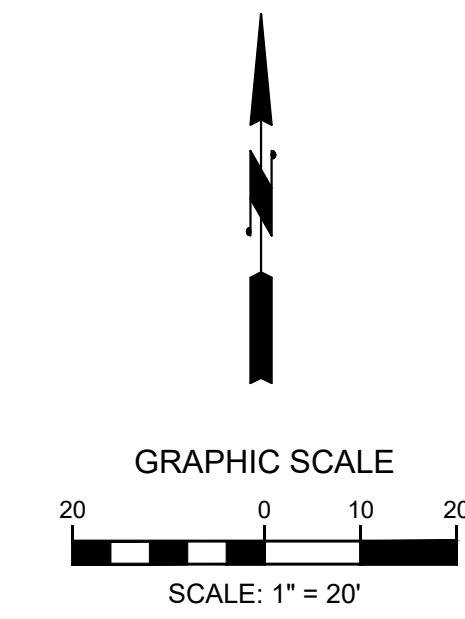
APPROVED:

CITY OF MERCER ISLAND DEVELOPMENT SERVICES GROUP Date

REFERENCE SURVEYS

- R1) THE PLAT OF FLOOD'S LAKE SIDE TRACTS DIVISION NO. 5, RECORDED IN VOLUME 34 OF PLATS, PAGE 6
- R2) LOT LINE REVISION, RECORDING NO. 20030702900005
- R3) SHORT SUBDIVISION, RECORDING NO. 20150910900001
- R4) RECORD OF SURVEY, RECORDING NO. 20161107900007

RECORDS OF KING COUNTY RECORDER'S OFFICE



LEGEND

- SET REBAR & CAP EMW LS #44651
- ⊕ FOUND IRON PIPE (AS SHOWN)
- ⊕ FOUND CASED MONUMENT (AS SHOWN)
- ☐ MAIL BOX
- ☼ YARD LIGHT
- ⚡ POWER POLE
- ⚡ POWER POLE W/TRANSFORMER & DRP
- ⊕ WATER METER
- ⊕ FIRE HYDRANT
- ⊕ WATER VALVE
- ⊕ IRRIGATION CONTROL BOX
- ☐ CATCH BASIN OR DRYWELL (AS SHOWN)
- ⊕ SEWER MANHOLE
- ⊕ CEDAR TREE
- ⊕ FRUIT TREE
- ⊕ MAPLE TREE
- ⊕ EVERGREEN TREE
- ⊕ TREE STUMP
- ★ EXCEPTIONAL TREE
- STORM DRAIN LINE
- SEWER LINE
- APPROXIMATE WATER LINE
- OVERHEAD UTILITY LINE
- WOOD FENCE
- CHAIN LINK FENCE
- EDGE OF HEDGES
- (R) DISTANCE PER REFERENCE
- ▨ =40% OR > SLOPE WITH 10 FEET OR > VERTICAL RELIEF

FOUND CASED BRASS PIN IN CONC. DOWN 1.2' FOUND AT THE INTERSECTION OF 92ND AVE SE AND SE 72ND PL

92ND AVE SE
N0127°06'E 355.42'

SE 72ND ST
S88°42'24"E 301.77'(R1)

93RD AVE SE
N0127°06'E 257.90'(R1)

93RD AVE SE
N0127°06'E 364.03'(R1)

93RD AVE SE
N0127°06'E 229.09'

93RD AVE SE
N0127°06'E 104.00'

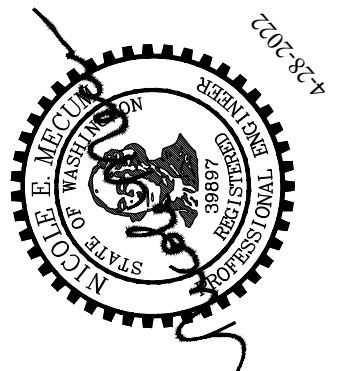
93RD AVE SE
N0127°06'E 104.00'

93RD AVE SE
N0127°06'E 104.00'

93RD AVE SE
N0127°06'E 104.00'



Know what's below.
Call before you dig.



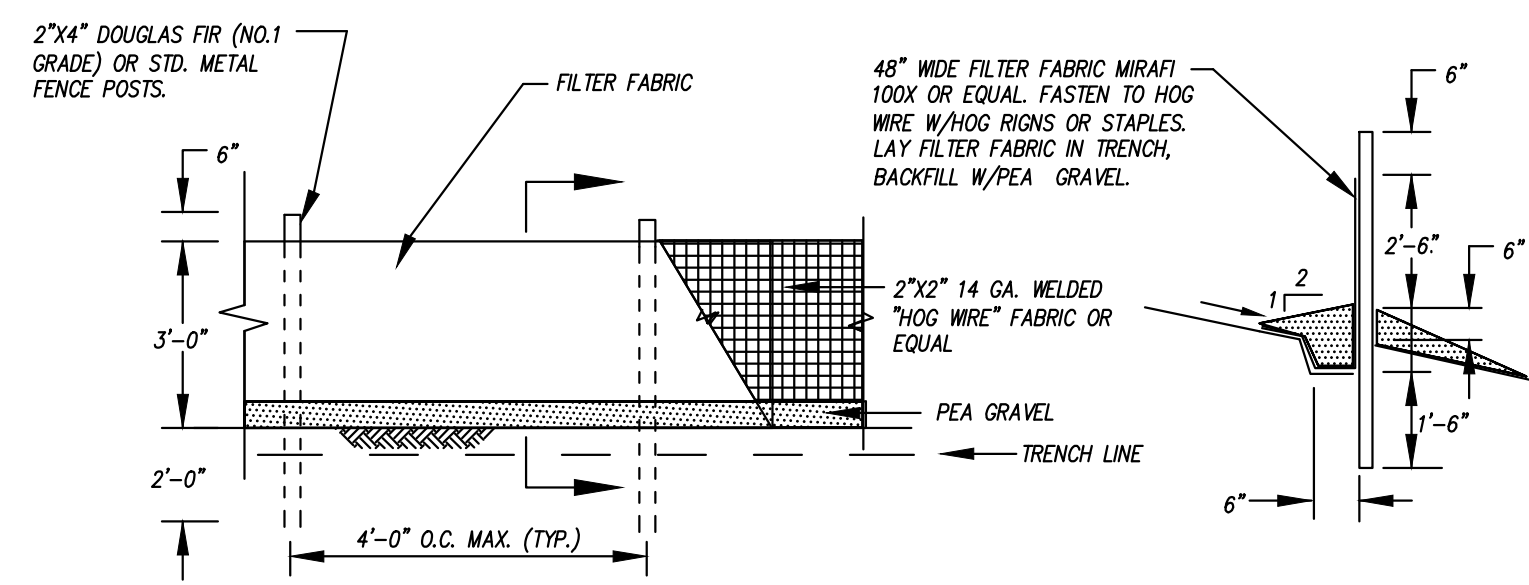
DATE	CHG BY	DATE	NOTES
3-30-21	KAL	3-30-21	SUBMITTED TO CLIENT
5-25-21	KAL	5-25-21	REVISED PER CITY COMMENTS
4-28-22	NEM	4-28-22	REVISED PER CITY COMMENTS

1375 NW MALL ST, SUITE 3
ISSAQUAH, WA 98027
G2 CIVIL
PHONE: (425) 821-5038

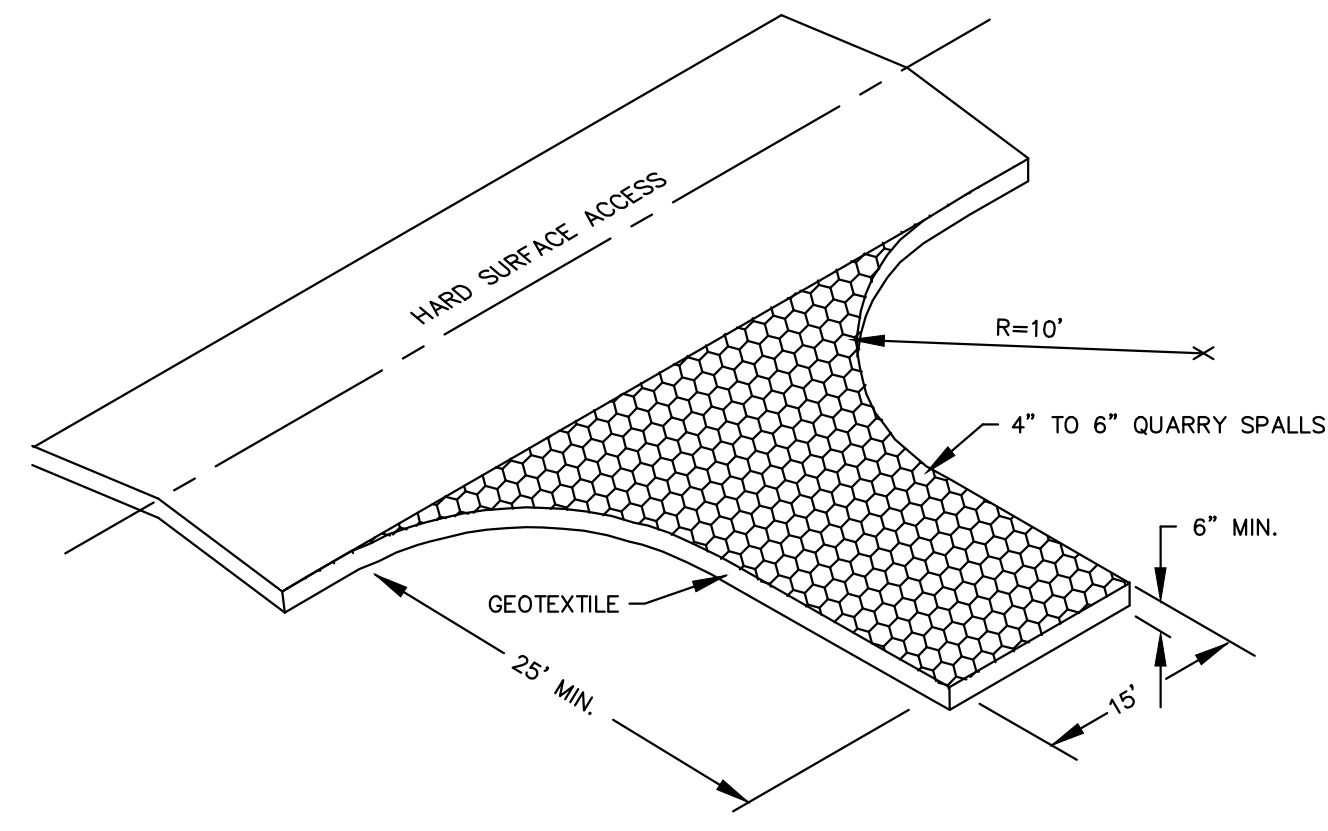
COVER SHEET
LOT 1 - SFR (93RD AVE SE)

PREMIUM HOMES OF MERCER ISLAND LLC
PO BOX 1639 98040
MERCER ISLAND, WA 98040
(206) 724-1072

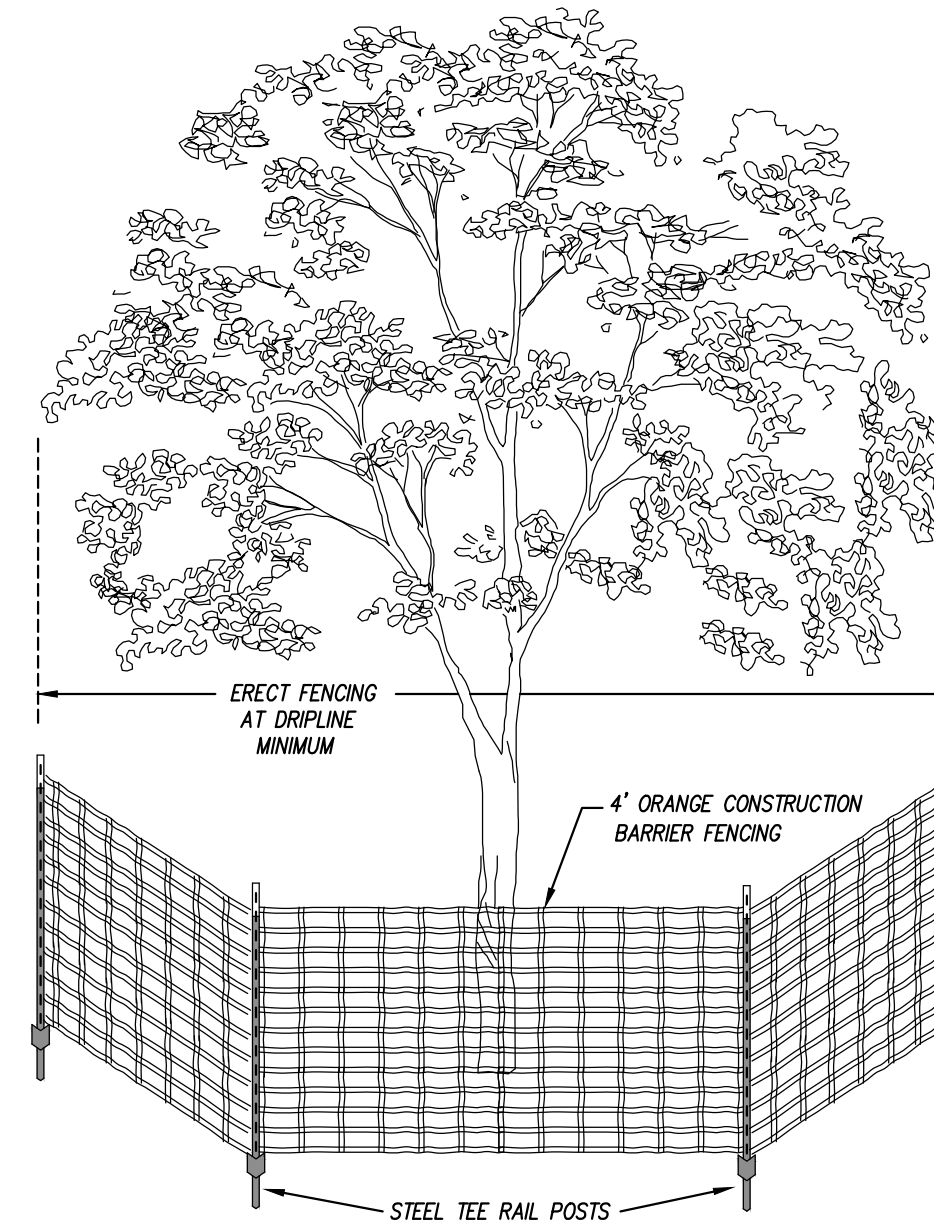
SHEET
1 of 6



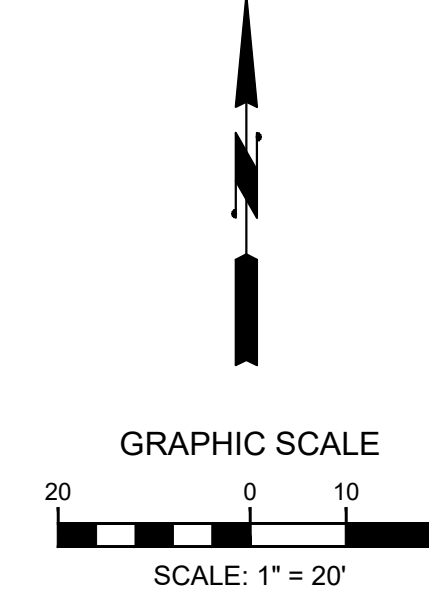
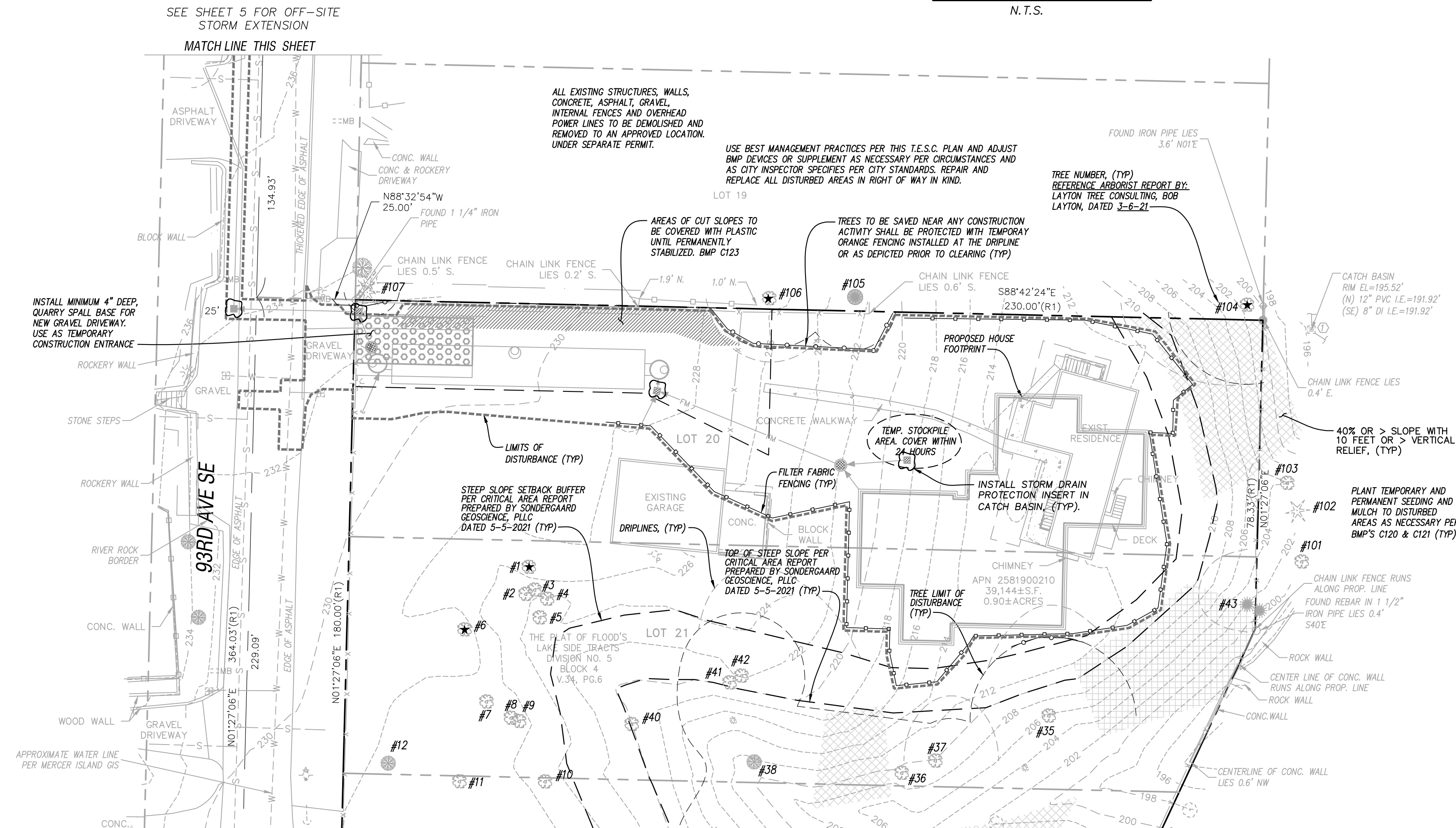
FILTER FABRIC FENCING
N.T.S.



TEMPORARY GRAVEL CONSTRUCTION ENTRANCE
N.T.S.

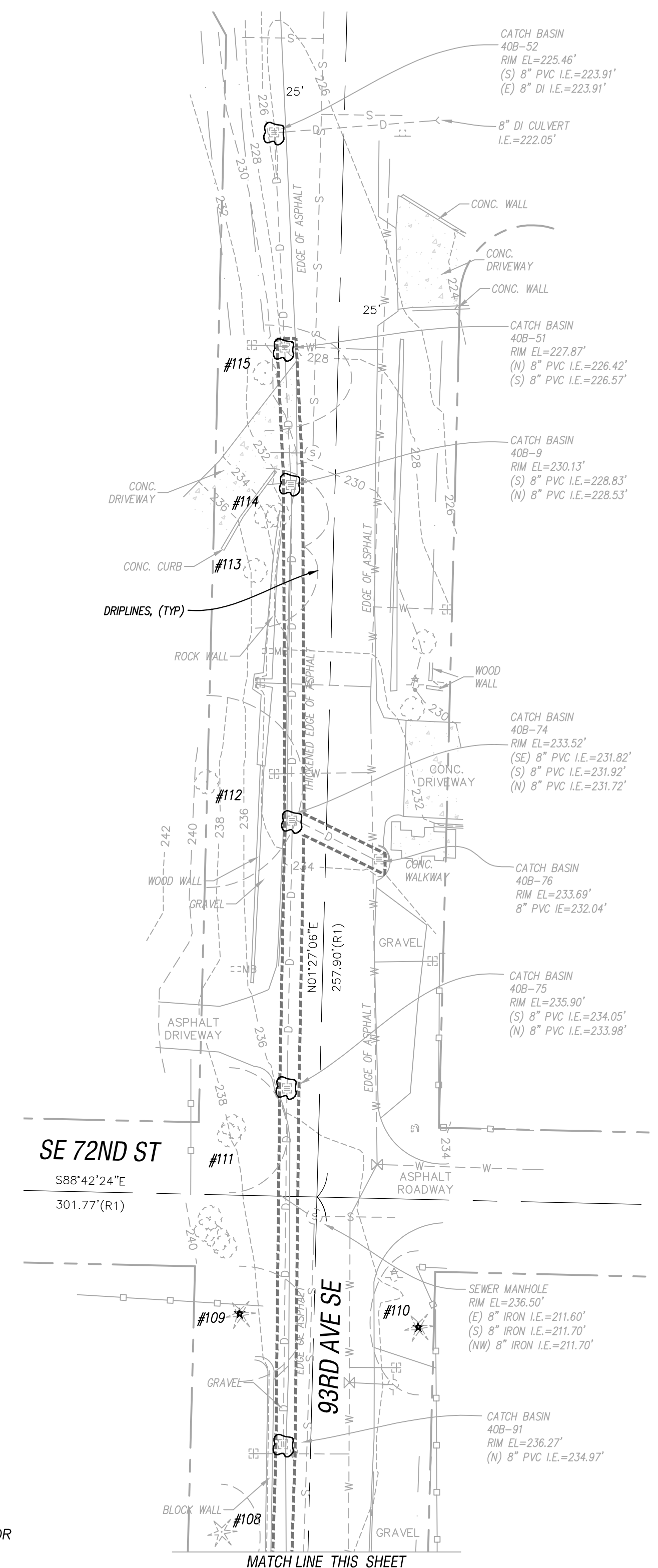


TREE PROTECTION DETAIL
N.T.S.



CONSTRUCTION SEQUENCE

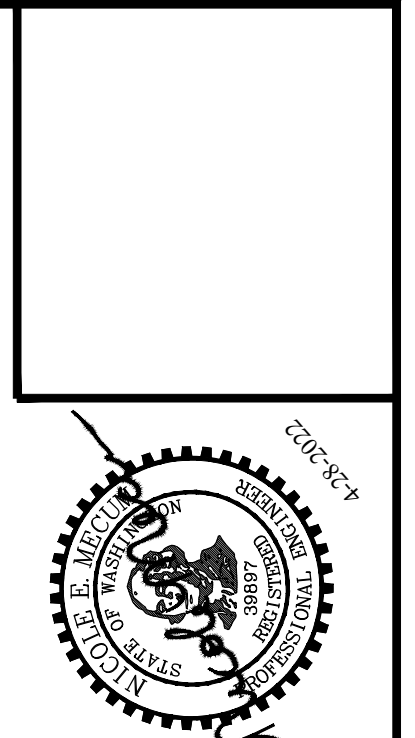
1. ATTEND PRE-CONSTRUCTION MEETING
2. FLAG CLEARING LIMITS
3. INSTALL ORANGE TREE BARRIER FENCING
4. INSPECTION BY CITY OF MERCER ISLAND INSPECTOR
5. EROSION CONTROL DEVICES AND RESOURCES TO COVER ALL SOIL, IN CASE OF EROSION RISK, ARE TO BE ON THE SITE AT ALL TIMES
6. CONSTRUCT TEMPORARY GRAVEL CONSTRUCTION ENTRANCE
7. CLEAR AND GRUB WITHIN CLEARING LIMITS
8. INSTALL DETENTION TANK FOR TEMPORARY CONSTRUCTION DRAINAGE
9. SITE GRADING
10. INSTALL UNDERGROUND UTILITIES
11. TEMPORARY COVER OR APPLY PERMANENT VEGETATION, WHICH EVER IS APPROPRIATE
12. FINISH GRADE
13. APPLY PERMANENT VEGETATION AND MULCH ALL DISTURBED AREAS
14. FLUSH DETENTION TANK SYSTEM BEFORE PERMANENT USE
15. CLEAN-UP THE SITE. TEMPORARY EROSION CONTROL DEVICES MAY BE REMOVED WITHIN 30 DAYS AFTER FINAL SITE STABILIZATION OR AFTER THEY ARE NO LONGER NECESSARY



EROSION / SEDIMENTATION CONTROL NOTES

1. PRIOR TO BEGINNING EARTH DISTURBING ACTIVITIES, INCLUDING CLEARING AND GRADING, ALL CLEARING LIMITS, EASEMENTS, SETBACKS, TREES AND DRAINAGE COURSES SHALL BE CLEARLY DEFINED AND MARKED IN THE FIELD TO PREVENT DAMAGE AND OFFSITE IMPACTS.
2. CONSTRUCTION VEHICLE ACCESS AND EXIT SHALL BE LIMITED TO ONE ROUTE IF POSSIBLE. ACCESS POINTS SHALL BE STABILIZED WITH QUARRY SPALLS OR CRUSHED ROCK TO MINIMIZE THE TRACKING OF SEDIMENTS ONTO PUBLIC STREETS. WHEEL WASH OR TIRE BATHS SHALL BE LOCATED ON-SITE. IF SEDIMENT IS TRANSPORTED ONTO A ROAD SURFACE, THE PAVEMENT SHALL BE CLEANED THOROUGHLY AT THE END OF EACH DAY. SEDIMENT SHALL BE REMOVED FROM THE PAVEMENT BY SHOVELING OR SWEEPING AND BE TRANSPORTED TO A CONTROLLED SEDIMENT DISPOSAL AREA. STREET WASHING WILL ONLY BE ALLOWED AFTER SEDIMENT IS REMOVED IN THIS MANNER. PAVEMENT WASHING SHALL NOT OCCUR UNTIL ALL STORM DRAIN INLETS, LOCATED DOWNSTREAM OF THE WASHING AREA, HAVE BEEN PROTECTED BY PLACEMENT OF A FILTER CLOTH UNDER THE INLET GRATE.
3. PROPERTIES AND WATERWAYS DOWNSTREAM FROM THE DEVELOPMENT SITE SHALL BE PROTECTED FROM EROSION DUE TO INCREASES IN THE VOLUME, VELOCITY, AND PEAK FLOW RATE OF STORMWATER RUNOFF FROM THE PROJECT SITE.
4. PRIOR TO LEAVING THE SITE, STORMWATER RUNOFF SHALL PASS THROUGH APPROVED SEDIMENT BARRIERS OR FILTERS, DIKES, OR ANY OTHER APPROVED FACILITY INTENDED TO TRAP SEDIMENT. THESE SEDIMENT CONTROLLING MEASURES SHALL BE CONSTRUCTED AS THE FIRST STEP IN GRADING. THESE FACILITIES SHALL BE FUNCTIONAL BEFORE ANY OTHER LAND DISTURBING ACTIVITY TAKES PLACE. EARTHEN STRUCTURES SUCH AS DAMS, DIKES, AND DIVERSIONS SHALL BE SEEDED AND MULCHED ACCORDING TO THE TIMING INDICATED UNDER ITEM 5.
5. ALL EXPOSED AND UNWORKED SOILS SHALL BE STABILIZED BY THE PLACEMENT OF SOD OR OTHER VEGETATION, PLASTIC COVERING, MULCHING, APPLICATION OF BASE ROCK WITHIN AREAS TO BE PAVED, OR SOME OTHER APPROVED MEANS, TO PROTECT THE SOIL FROM THE EROSION FORCES OF RAINDROP IMPACT AND FLOWING WATER. FROM OCTOBER 1 THROUGH APRIL 30, NO SOILS SHALL REMAIN EXPOSED AND UNWORKED FOR MORE THAN 2 DAYS. FROM MAY 1 THROUGH SEPTEMBER 30, NO SOIL SHALL REMAIN EXPOSED AND UNWORKED FOR MORE THAN 7 DAYS. THIS CONDITION APPLIES TO ALL SOILS ON SITE, WHETHER AT FINAL GRADE OR NOT. THE SOIL STABILIZATION MEASURES SELECTED SHOULD BE APPROPRIATE FOR THE TIME OF YEAR, SITE CONDITIONS, ESTIMATED DURATION OF USE, AND THE POTENTIAL WATER QUALITY IMPACTS THAT THE STABILIZATION MEASURES MAY HAVE ON THE DOWNSTREAM WATERS. SOIL STOCKPILES SHALL BE STABILIZED AND PROTECTED WITH SEDIMENT TRAPPING MEASURES.
6. CUT AND FILL SLOPES SHALL BE DESIGNED AND CONSTRUCTED IN A MANNER THAT WILL MINIMIZE EROSION. CONSIDER SOIL TYPE AND ITS POTENTIAL FOR EROSION. REDUCE SLOPE RUNOFF VELOCITIES BY (1) REDUCING THE LENGTH OF CONTINUOUS SLOPES BY USING TERRACING AND DIVERSIONS, (2) REDUCING THE GRADE OF THE SLOPE, AND (3) ROUGHEN SLOPE SURFACE. CONTAIN DOWNSLOPE COLLECTED WATER IN PIPES OR PROTECTED CHANNELS.
7. ALL STORM DRAIN INLETS MADE OPERABLE DURING CONSTRUCTION SHALL BE PROTECTED SO THAT STORMWATER RUNOFF SHALL NOT ENTER THE CONVEYANCE SYSTEM WITHOUT FIRST BEING FILTERED OR TREATED TO REMOVE SEDIMENTS.
8. ALL TEMPORARY ON-SITE CONVEYANCE CHANNELS SHALL BE DESIGNED, CONSTRUCTED AND STABILIZED TO PREVENT EROSION. STABILIZATION, INCLUDING ARMORING MATERIAL, ADEQUATE TO PREVENT EROSION AT ALL DISCHARGE POINTS, ADJACENT STREAM BANKS, SLOPES AND DOWNSTREAM REACHES, SHALL BE PROVIDED.
9. ALL POLLUTANTS, INCLUDING WASTE MATERIALS AND DEMOLITION DEBRIS, THAT OCCUR ON-SITE DURING CONSTRUCTION SHALL BE HANDLED AND DISPOSED OF IN A MANNER THAT DOES NOT CAUSE CONTAMINATION OF STORMWATER. MAINTENANCE AND REPAIR OF HEAVY EQUIPMENT AND VEHICLES INVOLVING OIL CHANGES, HYDRAULIC SYSTEM DRAIN DOWN, SOLVENT AND DE-GREASING CLEANING OPERATIONS AND OTHER ACTIVITIES WHICH MAY RESULT IN DISCHARGE OR SPILLAGE OF POLLUTANTS TO THE GROUND OR INTO STORMWATER RUNOFF, MUST BE CONDUCTED UNDER COVER AND ON IMPERVIOUS SURFACES. THESE SURFACES SHALL BE CLEANED IMMEDIATELY FOLLOWING ANY DISCHARGE OR SPILLAGE INCIDENT. WHEEL WASH, OR TIRE BATH WASTEWATER, SHALL NOT BE DISCHARGED TO THE STORM DRAIN, OR ON-SITE STORMWATER TREATMENT SYSTEM.
10. ALL TEMPORARY AND PERMANENT EROSION AND SEDIMENT CONTROL FACILITIES SHALL BE MAINTAINED AND REPAIRED AS NEEDED TO ASSURE CONTINUED PERFORMANCE OF THEIR INTENDED FUNCTION.

APPROVED: _____ Date _____
CITY OF MERCER ISLAND DEVELOPMENT SERVICES GROUP

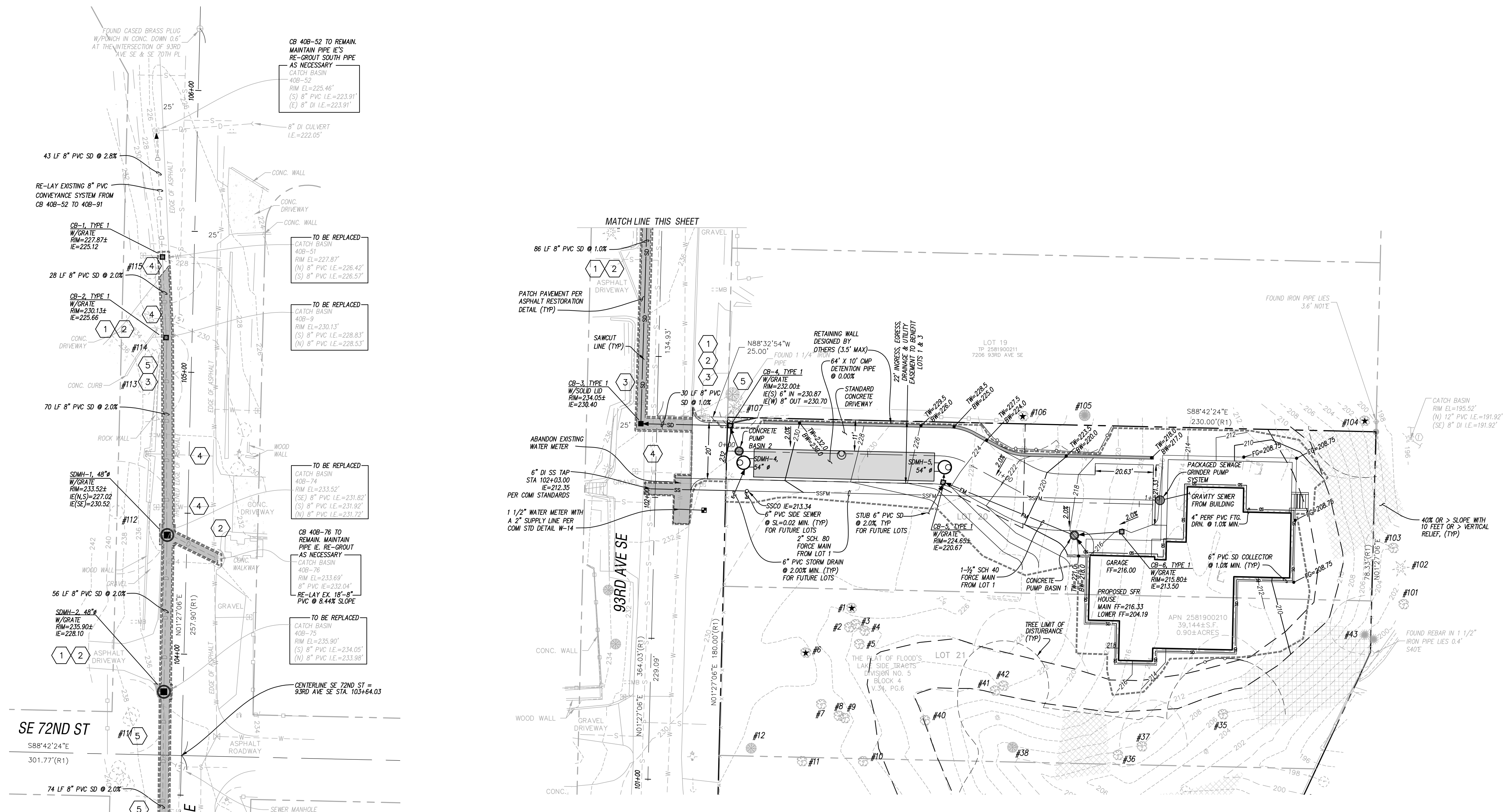
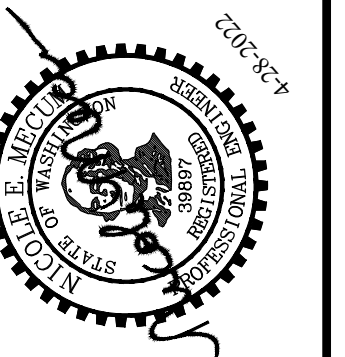


DATE	CHKD BY	DWN BY	NOTES
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5-25-21	KAL	KAL	REVISED PER CITY COMMENTS
4-28-22	NEM	JAT	REVISED PER CITY COMMENTS

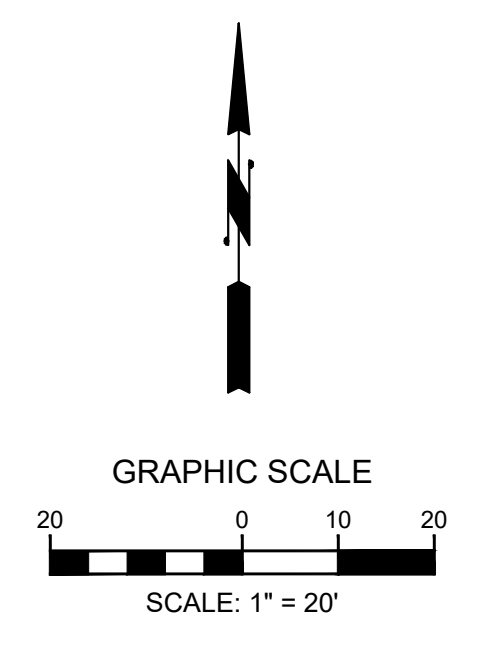
G2 CIVIL
1375 NW MALL ST, SUITE 3
ISSAQUAH, WA 98027
PHONE: (425) 821-5038

T.E.S.C. PLAN
LOT 1 - SFR (93RD AVE SE)
PREMIUM HOMES OF MERCER ISLAND LLC
PO BOX 1639 98040
MERCE (206) 724-1072





- OFFSITE RESTORATION NOTES**
- 1 PRIVATE DRIVEWAY TO BE RESTORED TO PRE-EXISTING CONDITION OR BETTER.
 - 2 48 HOUR ADVANCED NOTICE TO BE PROVIDED TO PROPERTY OWNER PRIOR TO BEGINNING WORK
 - 3 PORTION OF EXISTING ROCK, BLOCK, AND/OR LANDSCAPE WALL MAY REQUIRE REMOVAL TO FACILITATE CONSTRUCTION. ANY DISTURBANCE TO WALL SHALL BE RESTORED TO PRE-EXISTING CONDITION UPON COMPLETION OF CONSTRUCTION.
 - 4 WATER SERVICES AND/OR ANY UTILITIES CROSSING PIPE ALIGNMENT TO BE POTHOLED PRIOR TO CONSTRUCTION. CONTRACTOR TO PROTECT AND MAINTAIN EXISTING WATER SERVICE DURING INSTALLATION OF NEW UTILITIES.
 - 5 EXISTING TREES TO BE EVALUATED BY A CERTIFIED ARBORIST PRIOR TO CONSTRUCTION. ADDITIONAL PRECAUTIONARY MEASURES MAY BE REQUIRED DURING CONSTRUCTION.

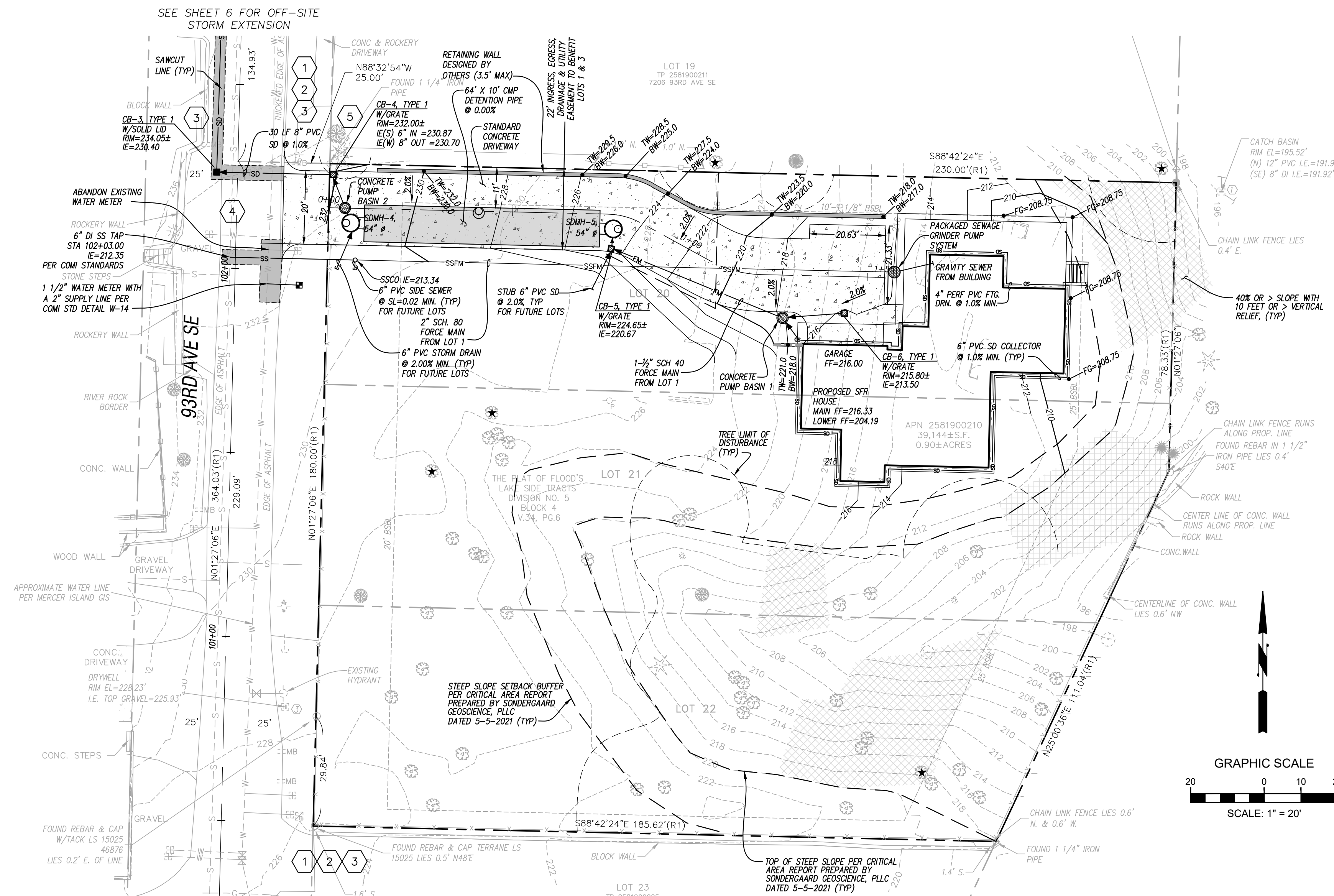


APPROVED: _____
CITY OF MERCER ISLAND DEVELOPMENT SERVICES GROUP Date

DATE	CHNG BY	NOTES
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G2 CIVIL
1375 NW MALL ST, SUITE 3
ISSAQUAH, WA 98027
PHONE: (425) 821-5038

TREE RETENTION PLAN
LOT 1 - SFR (93RD AVE SE)
PREMIUM HOMES OF MERCER ISLAND LLC
PO BOX 1639 98040
MERCER ISLAND, WA 98040
(206) 724-1072



SITE IMPROVEMENT NOTES

1. PROOF OF LIABILITY INSURANCE SHALL BE SUBMITTED TO THE CITY PRIOR TO THE PRE-CONSTRUCTION MEETING.
2. THESE PLANS ARE APPROVED FOR GRADING, DRAINAGE, AND UTILITY IMPROVEMENTS ONLY. PLANS FOR STRUCTURES REQUIRE A SEPARATE REVIEW AND APPROVAL.
3. RETAINING WALLS GREATER THAN FOUR (4) FEET IN HEIGHT REQUIRE A SEPARATE BUILDING PERMIT.
4. FILL MATERIAL PLACED UNDER BUILDING FOUNDATIONS OR PAVEMENT SHALL BE CRUSHED BASE ROCK OR COMPACTED STRUCTURAL FILL IN ACCORDANCE WITH CITY AND WSDOT STANDARD SPECIFICATIONS.
5. THIS PLAN DOES NOT NECESSARILY SHOW THE LOCATION OF ALL EXISTING UTILITIES. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO LOCATE ALL EXISTING UTILITIES PRIOR TO EXCAVATION.
6. THE CONTRACTOR SHALL EXPOSE ALL EXISTING PIPING THAT WILL BE CONNECTED TO WITH NEW PIPING. DEPTH, LOCATION, AND CONDITION SHALL BE RELATED TO THE EXISTING IF CONDITIONS VARY SIGNIFICANTLY FROM WHAT IS DETAILED OR ANTICIPATED.
7. ALL WORK SHALL BE PERFORMED IN STRICT ACCORDANCE TO DETAILS AND SPECIFICATIONS OF CITY STANDARDS. ALL CONSTRUCTION DEBRIS GENERATED DURING CONSTRUCTION TO BE REMOVED & DISPOSED OF AT AN APPROVED LOCATION OFF-SITE.
8. ALL CUT MATERIAL GENERATED DURING THE PROJECT THAT IS NOT ACCEPTABLE FOR USE AS COMPACTED FILL MATERIAL AT ANOTHER LOCATION ON-SITE MUST BE HAULED TO AN APPROVED LOCATION OFF-SITE.

GRADING NOTES

1. ALL CUT MATERIAL GENERATED DURING THE PROJECT THAT IS NOT ACCEPTABLE FOR USE AS COMPACTED FILL MATERIAL AT ANOTHER LOCATION ON-SITE MUST BE HAULED TO AN APPROVED LOCATION OFF-SITE.
2. THE ON-SITE TOPOGRAPHICAL MAPPING WAS PROVIDED BY GEO DIMENSIONS, INC.
3. ALL TEMPORARY OR PERMANENT SLOPES SHALL NOT EXCEED 2H:1V UNLESS APPROVED BY A GEOTECHNICAL ENGINEER.
4. FILL MATERIAL PLACED UNDER BUILDING FOUNDATIONS OR PAVEMENT SHALL BE CRUSHED BASE ROCK OR COMPACTED STRUCTURAL FILL IN ACCORDANCE TO WSDOT STANDARD SPECIFICATIONS.
5. ROCKERY AND/OR RETAINING WALLS GREATER THAN FOUR (4) FEET IN HEIGHT REQUIRES A BUILDING PERMIT.
6. IT WILL BE THE PERMITEE'S RESPONSIBILITY TO SUCCESSFULLY CAP AND ABANDON ALL EXISTING UTILITIES WITHIN THE DEVELOPMENT IN ACCORDANCE TO THE GOVERNING UTILITY AGENCY.

ARCHITECTURAL, STRUCTURAL & GEOTECHNICAL NOTES

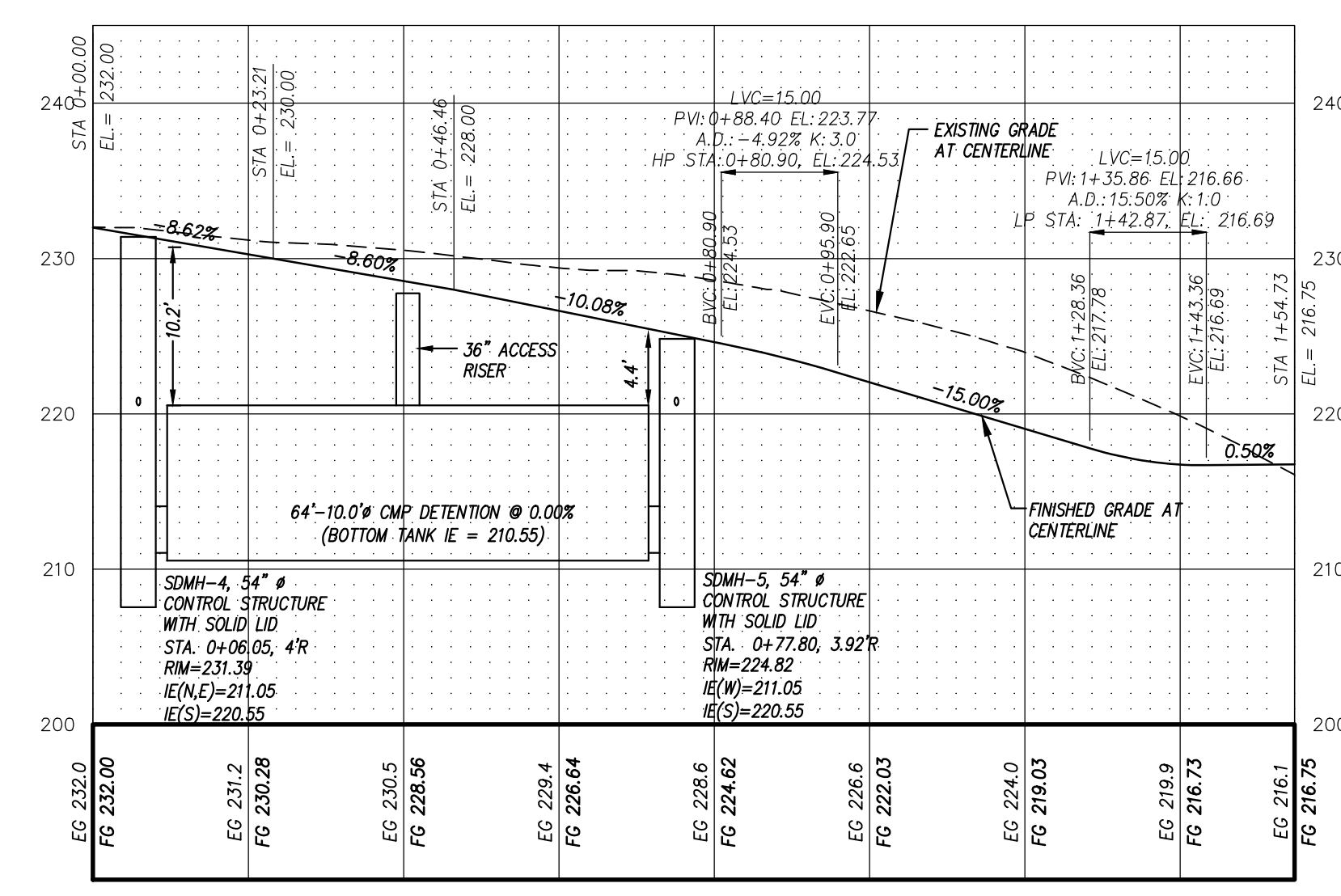
1. THESE PLANS ARE APPROVED FOR STANDARD ROAD AND DRAINAGE IMPROVEMENTS ONLY. PLANS FOR STRUCTURES SUCH AS RETAINING WALLS HIGHER THAN 4' REQUIRE A SEPARATE REVIEW AND APPROVAL PRIOR TO CONSTRUCTION.
2. SPECIAL INSPECTIONS FOR GEOTECHNICAL AND/OR STRUCTURAL ASPECTS OF THE PROJECT MAY BE REQUIRED DURING VARIOUS STAGES OF THE PROJECT. CONTRACTOR TO BE RESPONSIBLE FOR COORDINATION AND OBTAINING INSPECTIONS WHEN AND WHERE NECESSARY.
3. SEE ARCHITECTURAL PLANS FOR BUILDING SECTIONS AND ALL LOCATIONAL/DIMENSIONAL ASPECTS OF BUILDINGS.
4. SEE ARCHITECTURAL AND STRUCTURAL PLANS FOR ALL BUILDING AND RETAINING WALL DETAILS.
5. COORDINATE ALL SITE CIVIL CONSTRUCTION WITH ARCHITECTURAL, STRUCTURAL, MECHANICAL, PLUMBING AND LANDSCAPE PLANS IN ACCORDANCE WITH GEOTECHNICAL RECOMMENDATIONS.

DRAINAGE GENERAL NOTES

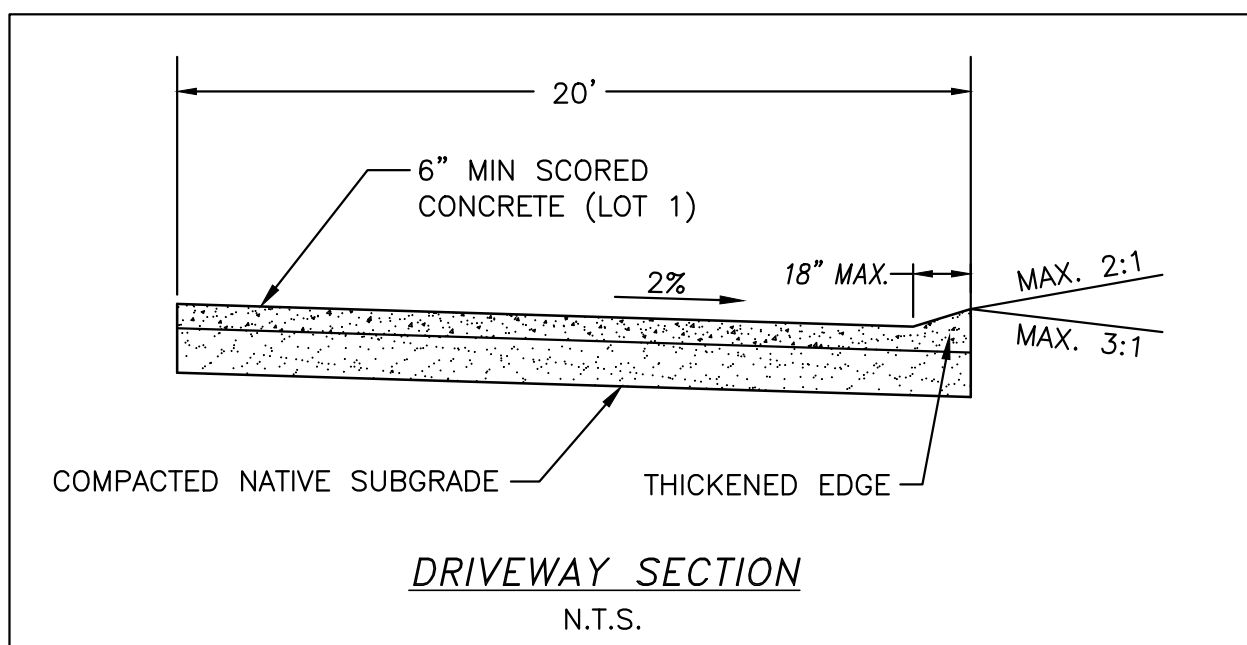
1. A PRE-CONSTRUCTION CONFERENCE SHALL BE HELD PRIOR TO THE START OF CONSTRUCTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR SECURING ALL NECESSARY PERMITS PRIOR TO CONSTRUCTION.
2. BEFORE ANY CONSTRUCTION MAY OCCUR, THE CONTRACTOR SHALL HAVE PLANS WHICH HAVE BEEN SIGNED AND APPROVED BY THE CITY OF MERCER ISLAND PUBLIC WORKS DEPARTMENT, OBTAINED ALL CITY, COUNTY, STATE, FEDERAL AND OTHER REQUIRED PERMITS, AND HAVE POSTED ALL REQUIRED BONDS.
3. ALL STORM DRAINAGE IMPROVEMENTS SHALL BE DESIGNED AND CONSTRUCTED IN ACCORDANCE WITH THE LATEST EDITION OF THE CITY OF MERCER ISLAND PUBLIC WORKS PRE-APPROVED PLANS AND POLICIES AND THE STANDARD SPECIFICATIONS FOR ROAD, BRIDGE AND MUNICIPAL CONSTRUCTION, PREPARED BY WSDOT AND THE AMERICAN PUBLIC WORKS ASSOCIATION (APWA).
4. ANY DEVIATION FROM THE APPROVED STORM WATER PLANS WILL REQUIRE WRITTEN APPROVAL. ALL CHANGES SHALL BE SUBMITTED TO THE CITY.
5. A COPY OF THE APPROVED STORM WATER PLANS MUST BE ON THE JOB SITE WHENEVER CONSTRUCTION IS IN PROGRESS.
6. ALL DISTURBED AREAS SHALL BE SEEDED AND MULCHED OR SIMILARLY STABILIZED TO THE SATISFACTION OF THE CITY OF MERCER ISLAND DEPARTMENT OF PUBLIC WORKS FOR THE PREVENTION OF ON-SITE EROSION AFTER THE COMPLETION OF CONSTRUCTION.
7. MINIMUM COVER OVER STORM DRAINAGE PIPES IN ROW OR VEHICULAR PATH SHALL BE 18 INCHES, UNLESS OTHER DESIGN IS APPROVED.
8. CONSTRUCTION OF DEWATERING (GROUNDWATER) SYSTEMS SHALL BE IN ACCORDANCE WITH THE APWA STANDARD SPECIFICATIONS.
9. ALL TRENCH BACKFILL SHALL BE COMPACTED TO 95 PERCENT DENSITY IN ROADWAYS, ROADWAY SHOULDERS, ROADWAY FRISM AND DRIVEWAYS, AND 85 PERCENT DENSITY IN UNPAVED AREAS. ALL PIPE ZONE COMPACTION SHALL BE 95 PERCENT.
10. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING ADEQUATE SAFEGUARDS, SAFETY DEVICES, PROTECTIVE EQUIPMENT, CONFINED SPACE PROTECTION, FLAGGERS, AND ANY OTHER NEEDED ACTIONS TO PROTECT THE LIFE, HEALTH, AND SAFETY OF THE PUBLIC, AND TO PROTECT PROPERTY IN CONNECTION WITH THE PERFORMANCE OF WORK COVERED BY THE CONTRACT.
11. APPROXIMATE LOCATIONS OF EXISTING UTILITIES HAVE BEEN OBTAINED FROM AVAILABLE RECORDS AND ARE SHOWN FOR CONVENIENCE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFICATION OF EXISTING UTILITY LOCATIONS WHETHER OR NOT THESE UTILITIES ARE SHOWN ON THE PLANS. THE CONTRACTOR SHALL EXERCISE ALL CARE TO AVOID DAMAGE TO ANY UTILITY. IF CONFLICTS WITH EXISTING UTILITIES ARE DURING CONSTRUCTION, THE CONTRACTOR SHALL NOTIFY THE CITY CONSTRUCTION INSPECTOR AND ANY CHANGES REQUIRED SHALL BE APPROVED BY THE DEVELOPMENT ENGINEER PRIOR TO COMMENCEMENT OF RELATED CONSTRUCTION ON THE PROJECT.
12. THE UNDERGROUND UTILITY LOCATION SERVICE SHALL BE CONTACTED FOR FIELD LOCATION OF EXISTING UTILITIES PRIOR TO ANY CONSTRUCTION. THE OWNER OR HIS REPRESENTATIVE SHALL BE CONTACTED IF A UTILITY CONFLICT EXISTS. FOR UTILITY LOCATION IN KING COUNTY, CALL 811. THE CONTRACTOR IS RESPONSIBLE TO ENSURE THAT UTILITY LOCATES ARE MAINTAINED THROUGHOUT THE LIFE OF THE PROJECT.
13. OPEN CUT ROAD CROSSINGS FOR UTILITY TRENCHES ON EXISTING TRAVELED ROADWAY SHALL BE BACKFILLED ONLY WITH CRUSHED ROCK AND MECHANICALLY COMPACTED (UNLESS OTHERWISE APPROVED BY THE CITY). CUTS INTO THE EXISTING ASPHALT SHALL BE NEAT LINE CUT WITH SAW OR JACKHAMMER IN A CONTINUOUS LINE. A TEMPORARY COLD MIX PATCH MUST BE PLACED IMMEDIATELY AFTER BACKFILL AND COMPACTION. A PERMANENT HOT MIX PATCH SHALL BE PLACED WITHIN 30 DAYS AND SHALL BE A MINIMUM OF 1" THICKER THAN THE ORIGINAL ASPHALT WITH A MINIMUM THICKNESS OF 2".
14. ALL DAMAGES INCURRED TO PUBLIC AND/OR PRIVATE PROPERTY BY THE CONTRACTOR DURING THE COURSE OF CONSTRUCTION SHALL BE PROMPTLY REPAIRED TO THE SATISFACTION OF THE CITY CONSTRUCTION INSPECTOR BEFORE PROJECT APPROVAL AND/OR THE RELEASE OF THE PROJECT'S PERFORMANCE BOND.
15. GROUT ALL SEAMS AND OPENINGS IN ALL INLETS, CATCH BASINS, AND MANHOLES.

OFFSITE RESTORATION NOTES

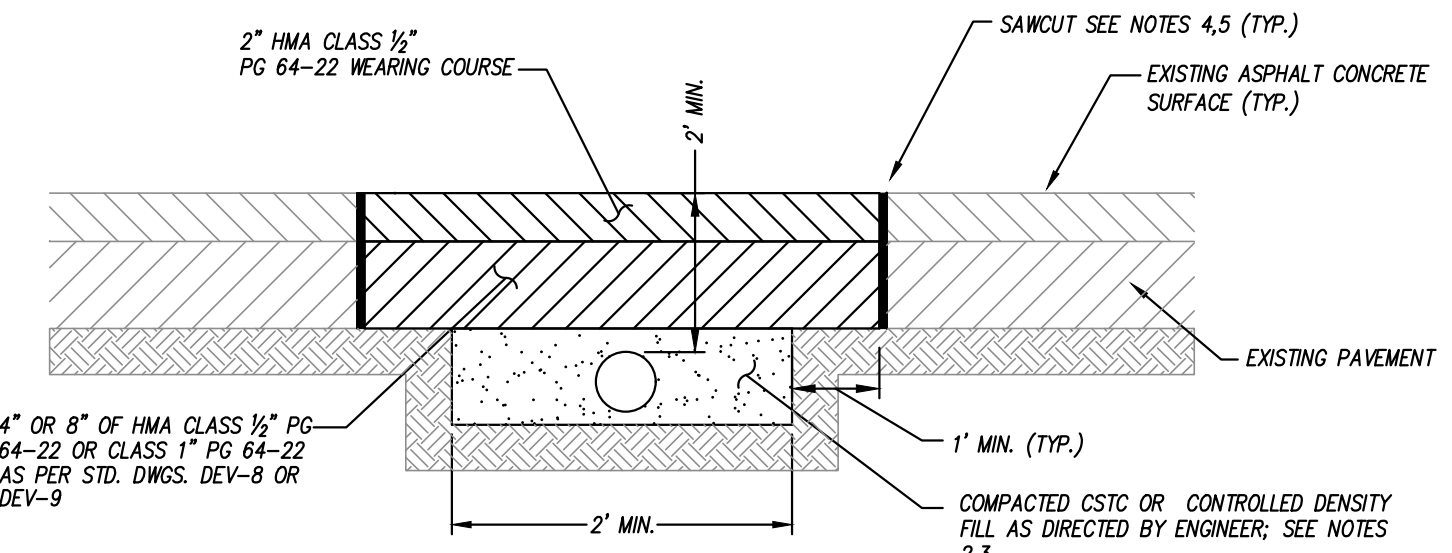
1. PRIVATE DRIVEWAY TO BE RESTORED TO PRE-EXISTING CONDITION OR BETTER.
2. 48 HOUR ADVANCED NOTICE TO BE PROVIDED TO PROPERTY OWNER PRIOR TO BEGINNING WORK
3. PORTION OF EXISTING ROCK, BLOCK, AND/OR LANDSCAPE WALL MAY REQUIRE REMOVAL TO FACILITATE CONSTRUCTION. ANY DISTURBANCE TO WALL SHALL BE RESTORED TO PRE-EXISTING CONDITION UPON COMPLETION OF CONSTRUCTION.
4. WATER SERVICES AND/OR ANY UTILITIES CROSSING PIPE ALIGNMENT TO BE POTHOLED PRIOR TO CONSTRUCTION. CONTRACTOR TO PROTECT AND MAINTAIN EXISTING WATER SERVICE DURING INSTALLATION OF NEW UTILITIES.
5. EXISTING TREES TO BE EVALUATED BY A CERTIFIED ARBORIST PRIOR TO CONSTRUCTION. ADDITIONAL PRECAUTIONARY MEASURES MAY BE REQUIRED DURING CONSTRUCTION.



DRIVEWAY C/L PROFILE
1"=20' HORIZ, 1"=10' VERT.



DRIVEWAY SECTION
N.T.S.



NOTES

1. ASPHALT CONCRETE MIX SHALL BE HMA CLASS 1/2" OR CLASS 1" PG 64-22.
2. ALL TRENCH BACKFILL SHALL BE CSTC OR CONTROLLED DENSITY FILL.
3. CONTROLLED DENSITY FILL SHALL MEET WSDOT STANDARDS AS STATED IN 2-09.3(1)E OF THE STANDARD SPECIFICATIONS FOR ROAD, BRIDGE AND MUNICIPAL CONSTRUCTION MANUAL M41-10, CURRENT EDITION.
4. ALL SAW CUTS SHALL BE VERTICAL AND IN STRAIGHT LINES UNLESS OTHERWISE DIRECTED BY ENGINEER.
5. TACK ASPHALT FACES OF SAW CUTS WITH PG 64-22 OIL.
6. HOT MIX ASPHALT SHALL BE A MINIMUM OF 6 INCHES THICK.

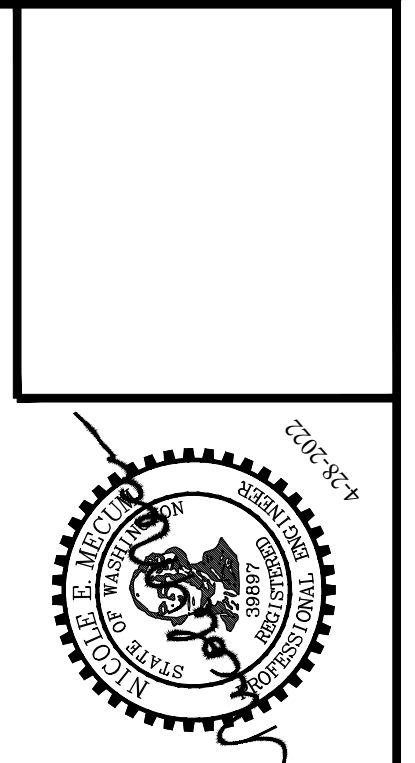
ASPHALT PAVEMENT SAWCUT & RESTORATION

N.T.S.



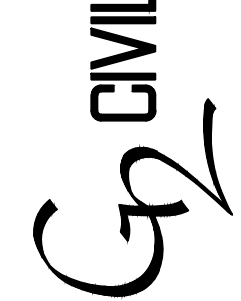
Know what's below.
Call before you dig.

APPROVED: _____
CITY OF MERCER ISLAND DEVELOPMENT SERVICES GROUP Date



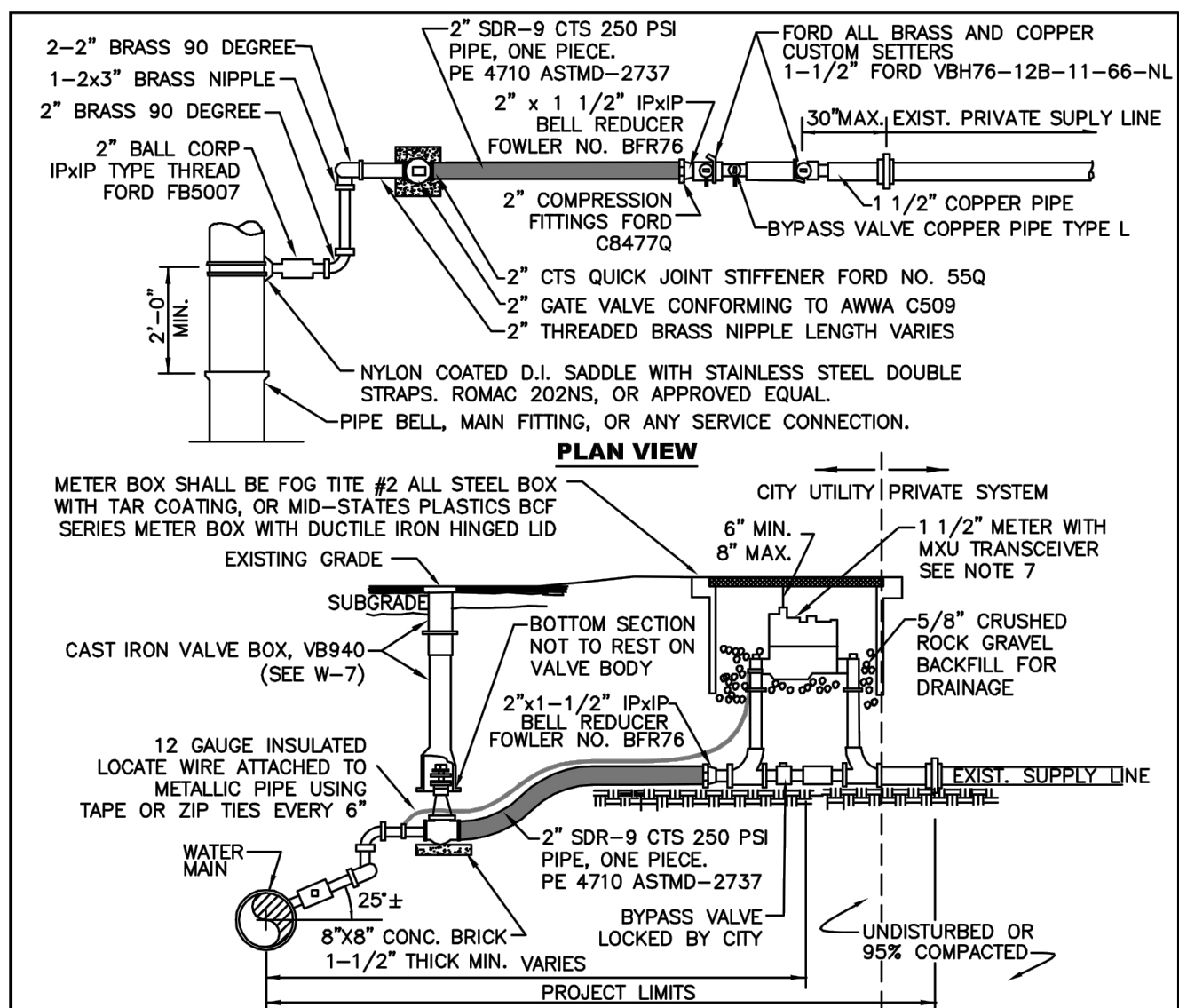
NOTES	DATE	CHNG BY	DWN BY
SUBMITTED TO CLIENT	3-30-21	KAL	KAL
REVISED PER CITY COMMENTS	5-25-21	KAL	KAL
REVISED PER CITY COMMENTS	4-28-22	NEM	JAT

1375 NW MALL ST, SUITE 3
ISSAQUAH, WA 98027
PHONE: (425) 821-5038



SITE IMPROVEMENT PLAN
LOT 1 - SFR (93RD AVE SE)

PREMIUM HOMES OF MERCER ISLAND LLC
MERCEPLOT1-1375-1072
(206) 724-1072

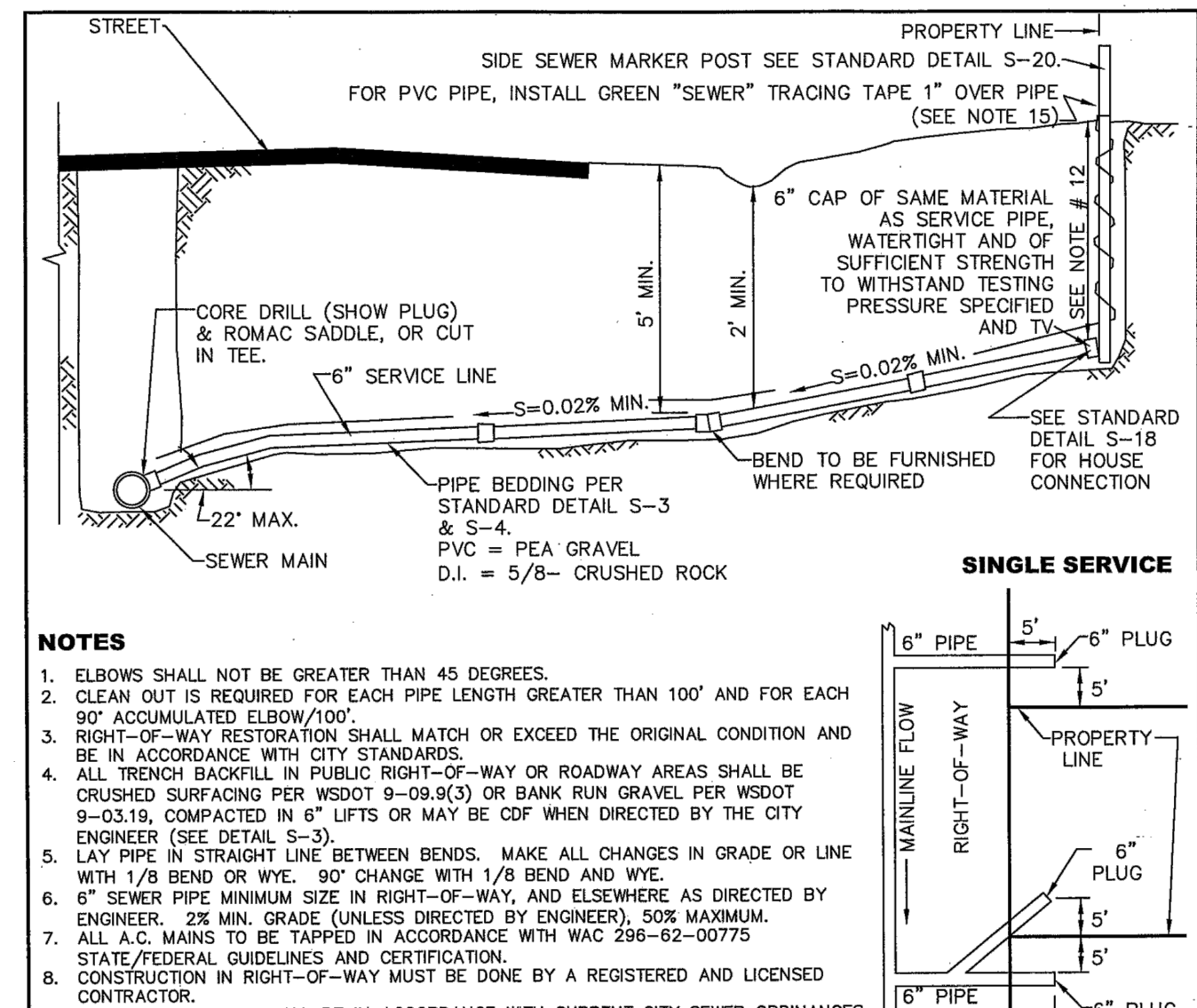


NOTES

1. WATER SERVICES SHALL COMPLY WITH THE REDUCTION OF LEAD IN DRINKING WATER ACT DATED 01/04/2014.
2. MINIMUM DISTANCE BETWEEN CORP STOPS SHALL BE 18" MINIMUM DISTANCE BETWEEN TAPS, BETWEEN CORP STOP AND PIPE ENDS SHALL BE 24", ALL HORIZONTALLY STAGGERED.
3. PLASTIC METER BOXES SHALL NOT BE INSTALLED WITHIN ROADWAY, SIDEWALK, OR DRIVEWAYS.
4. UPON CITY ENGINEER'S APPROVAL, METER BOXES ARE ALLOWED TO BE INSTALLED IN PORTLAND CEMENT CONCRETE PAVEMENT OR SIDEWALK.
5. WHEN CONNECTING TO EXISTING PRIVATE SUPPLY LINE CONTAINING FERROUS METAL, PROVIDE INSULATING COUPLING (DB SERIES WITH C21 SERIES ADAPTERS) AND PROVIDE REDUCER AS NECESSARY TO MATCH EXISTING PRIVATE SUPPLY LINE DIAMETER.
6. SERVICE LINE SHALL BE PERPENDICULAR TO THE WATER MAIN AND STRAIGHT TO WATER METER, UNLESS OTHERWISE APPROVED BY CITY ENGINEER. PROVIDE WINDING SLACK IN THE SERVICE LINE BETWEEN THE MAIN AND WATER METER.
7. WATER METER SUPPLIED BY CITY.
8. ALL FITTINGS TO BE BRASS COMPRESSION TYPE, FORD QUICK JOINT OR EQUAL.
9. NO SERVICE CONNECTIONS BETWEEN BLOW-OFF AND END OF MAIN.

CITY OF MERCER ISLAND STANDARD DETAILS WATER 1-1/2" WATER METER INSTALLATION

02-05-2021 NO SCALE W-14 APPROVED

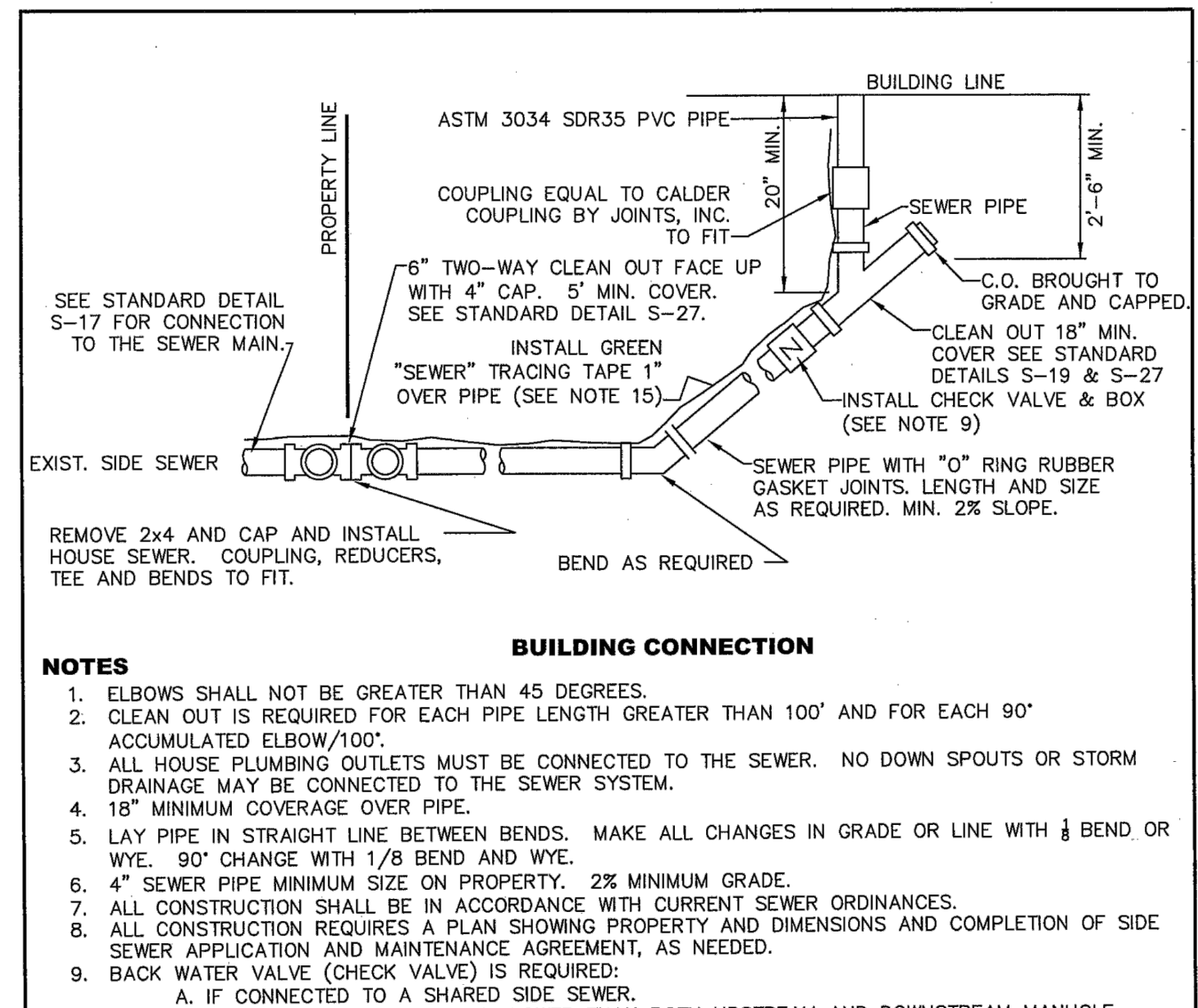


NOTES

1. ELBOWS SHALL NOT BE GREATER THAN 45 DEGREES.
2. CLEAN OUT IS REQUIRED FOR EACH PIPE LENGTH GREATER THAN 100' AND FOR EACH 90° ACCUMULATED ELBOW/100'.
3. RIGHT-OF-WAY RESTORATION SHALL MATCH OR EXCEED THE ORIGINAL CONDITION AND BE IN ACCORDANCE WITH CITY STANDARDS.
4. ALL TRENCH BACKFILLS IN PUBLIC RIGHT-OF-WAY OR ROADWAY AREAS SHALL BE CRUSHED SURFACING PER WSDOT 9-09.9(3) OR BANK RUN GRAVEL PER WSDOT 9-03.19, COMPACTED IN 6" LIFTS OR MAY BE CDF WHEN DIRECTED BY THE CITY ENGINEER (SEE DETAIL S-3).
5. LAY PIPE IN STRAIGHT LINE BETWEEN BENDS. MAKE ALL CHANGES IN GRADE OR LINE WITH 1/8" BEND OR WYE. 90° CHANGE WITH 1/8" BEND AND WYE.
6. 6" SEWER PIPE MINIMUM SIZE IN RIGHT-OF-WAY, AND ELSEWHERE AS DIRECTED BY ENGINEER. 2% MIN. GRADE (UNLESS DIRECTED BY ENGINEER), 50% MAXIMUM.
7. ALL A.C. MAINS TO BE TAPPED IN ACCORDANCE WITH WAC 296-62-00775 STATE/FEDERAL REGULATIONS AND CERTIFICATION.
8. CONSTRUCTION IN RIGHT-OF-WAY MUST BE DONE BY A REGISTERED AND LICENSED CONTRACTOR.
9. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH CURRENT CITY SEWER ORDINANCES.
10. WHERE CITY ENGINEER ALLOWS SIDE SEWER CONNECTIONS TO MANHOLE, INVERT OF SIDE SEWER SHALL BE EQUAL TO OR ABOVE MAIN SEWER CROWN, BUT NOT TO EXCEED 18" ABOVE INVERT OF MAIN SEWER.
11. UNLESS OTHERWISE INDICATED ON PLAN, SIDE SEWER SHALL BE MIN. OF 6" DEEP AT PROPERTY LINE, OR 5" LOWER THAN THE LOWEST ELEVATION, WHICH EVER IS LOWER.
12. ALL PIPE MATERIALS NOT TO STANDARDS WILL BE ABANDONED AND REPLACED WITH DUCTILE IRON OR PVC PIPE OF THE SAME SIZE.
13. IF A BUILDING SEWER IS TO SERVE MORE THAN ONE PROPERTY, BY JOINT AGREEMENT OF THE OWNERS, AN APPROVED EASEMENT INSURING THAT ALL PROPERTIES INVOLVED SHALL HAVE PERPETUAL USE OF THE SIDE SEWER, HAVING PROVISIONS FOR OPERATION, MAINTENANCE, RECONSTRUCTION AND FOR ACCESS FOR REPAIR PURPOSES, SHALL BE SIGNED BY THE OWNERS. THIS EASEMENT SHALL BE RECORDED WITH THE COUNTY AUDITOR. A SIX INCH (MINIMUM) DIAMETER PIPE SHALL BE USED FOR THE COMMON LINE AND A SIX INCH CLEARANCE EXTENDING TO WITHIN 12 INCHES OF THE GROUND SURFACE SHALL BE PROVIDED AT THE WYE WHERE THE UPPER GRADE CONNECTIONS ARE MADE. BACKWATER VALVES SHALL BE INSTALLED ON SERVICE LINES UPSTREAM OF THE CONNECTION TO THE SHARED SIDE SEWER.
14. THE CITY ENGINEER MAY REQUIRE BACKWATER VALVES ON SIDE SEWERS WHEN DEEMED NECESSARY, THE EFFECTIVE OPERATION AND MAINTENANCE OF ANY BACKWATER VALVE SHALL BE THE RESPONSIBILITY OF THE OWNER OF THE SIDE SEWER.
15. UTILITY PIPE TRACER TAPE SHALL BE DETECTABLE BELOW GROUND SURFACE, COLOR CODED, WITH UTILITY NAME PRINTED ON TAPE. CONDUCTIVE WARNING TAPE REQUIRED OVER ALL WATER PIPE. TAPE SHALL BE MANUFACTURER'S STANDARD PERMANENT, BRIGHT-COLORED, CONTINUOUS PRINTED PLASTIC TAPE, ALUMINUM BACKED, INTENDED FOR DIRECT-BURIAL SERVICE. TAPE SHALL BE NOT LESS THAN 6" WIDE X 4 MILS THICK.

CITY OF MERCER ISLAND STANDARD DETAILS SEWER SIDE SEWER CONNECTION AND STUB

6-5-2009 NO SCALE S-17 APPROVED

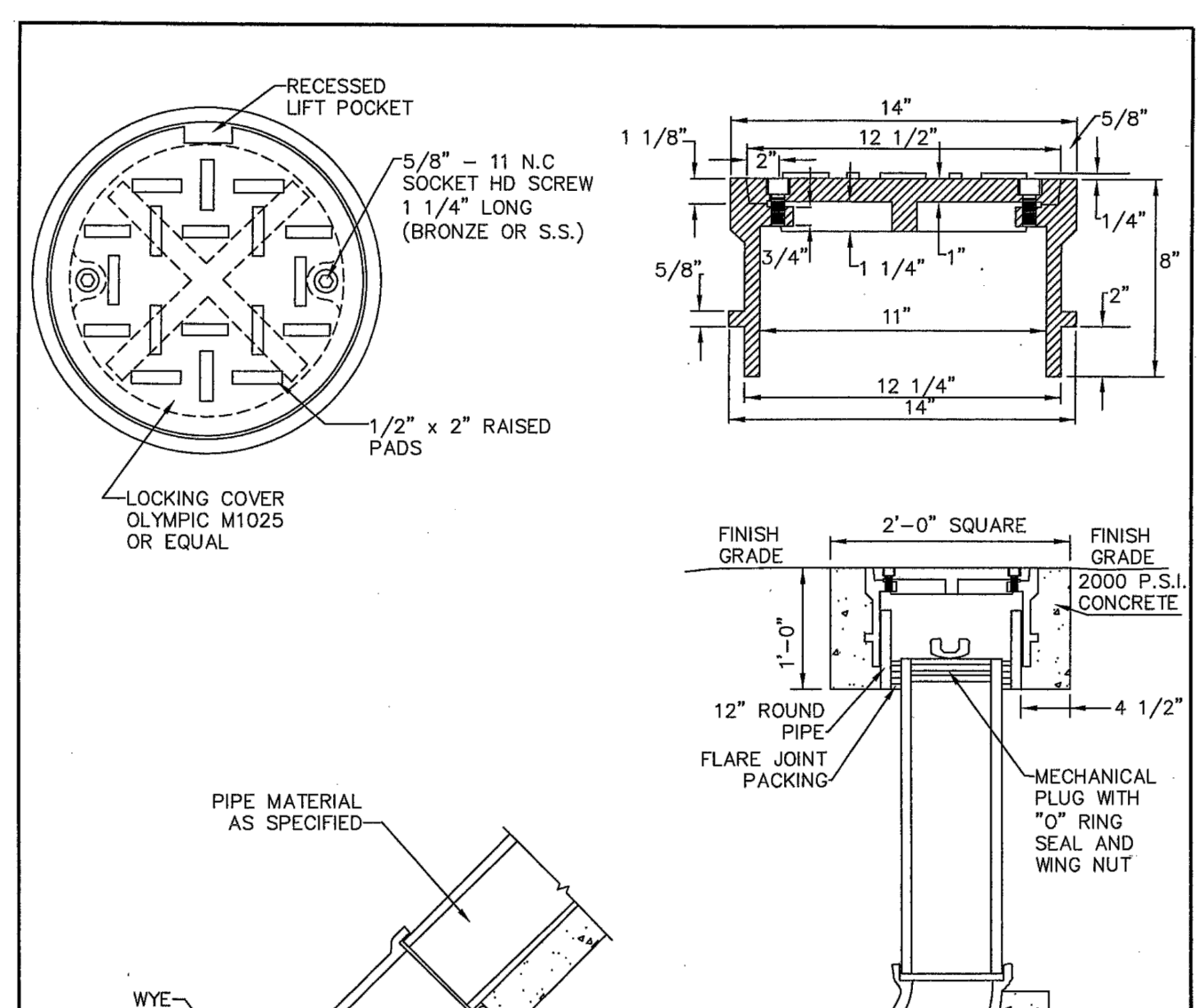


NOTES

1. ELBOWS SHALL NOT BE GREATER THAN 45 DEGREES.
2. CLEAN OUT IS REQUIRED FOR EACH PIPE LENGTH GREATER THAN 100' AND FOR EACH 90° ACCUMULATED ELBOW/100'.
3. ALL HOUSE PLUMBING OUTLETS MUST BE CONNECTED TO THE SEWER. NO DOWN SPOUTS OR STORM DRAINAGE MAY BE CONNECTED TO THE SEWER SYSTEM.
4. 18" MINIMUM COVERAGE OVER PIPE.
5. LAY PIPE IN STRAIGHT LINE BETWEEN BENDS. MAKE ALL CHANGES IN GRADE OR LINE WITH 1/8" BEND OR WYE. 90° CHANGE WITH 1/8" BEND AND WYE.
6. 4" SEWER PIPE MINIMUM SIZE ON PROPERTY. 2% MINIMUM GRADE.
7. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH CURRENT SEWER ORDINANCES.
8. ALL CONSTRUCTION REQUIRES A PLAN SHOWING PROPERTY AND DIMENSIONS AND COMPLETION OF SIDE SEWER APPLICATION AND MAINTENANCE AGREEMENT, AS NEEDED.
9. BACK WATER VALVE (CHECK VALVE) IS REQUIRED:
 - A. IF CONNECTED TO A SHARED SIDE SEWER.
 - B. IF CONNECTION AT HOUSE IS LOWER THAN BOTH UPSTREAM AND DOWNSTREAM MANHOLE.
 - C. SEE S-23 & S-24 FOR LAKE LINE REQUIREMENTS.
10. AS-BUILT DRAWING SHOWING LOCATION OF SIDE SEWER & ALL BENDS, C.O. ETC., IN RELATION TO THE HOUSE IS REQUIRED AFTER INSPECTION & INSTALLATION. SEE STANDARD DETAIL S-38 FOR A TYPICAL "AS BUILT".
11. THE MINIMUM PIPE SIZE FOR SIDE SEWERS SHALL BE:
 - A. WITHIN THE PUBLIC RIGHT-OF-WAY:
 1. - SINGLE FAMILY RESIDENCES.
 2. - 2 TO 6 SINGLE FAMILY RESIDENCES.
 - B. BUILDINGS OTHER THAN SINGLE FAMILY RESIDENCES.
12. UTILITY PIPE TRACER TAPE SHALL BE DETECTABLE BELOW GROUND SURFACE, COLOR CODED, WITH UTILITY NAME PRINTED ON TAPE. CONDUCTIVE WARNING TAPE REQUIRED OVER ALL WATER PIPE. TAPE SHALL BE MANUFACTURER'S STANDARD PERMANENT, BRIGHT-COLORED, CONTINUOUS PRINTED PLASTIC TAPE, ALUMINUM BACKED, INTENDED FOR DIRECT-BURIAL SERVICE. TAPE SHALL BE NOT LESS THAN 6" WIDE X 4 MILS THICK.

CITY OF MERCER ISLAND STANDARD DETAILS SEWER HOUSE SEWER CONNECTION

6-5-2009 NO SCALE S-18 APPROVED

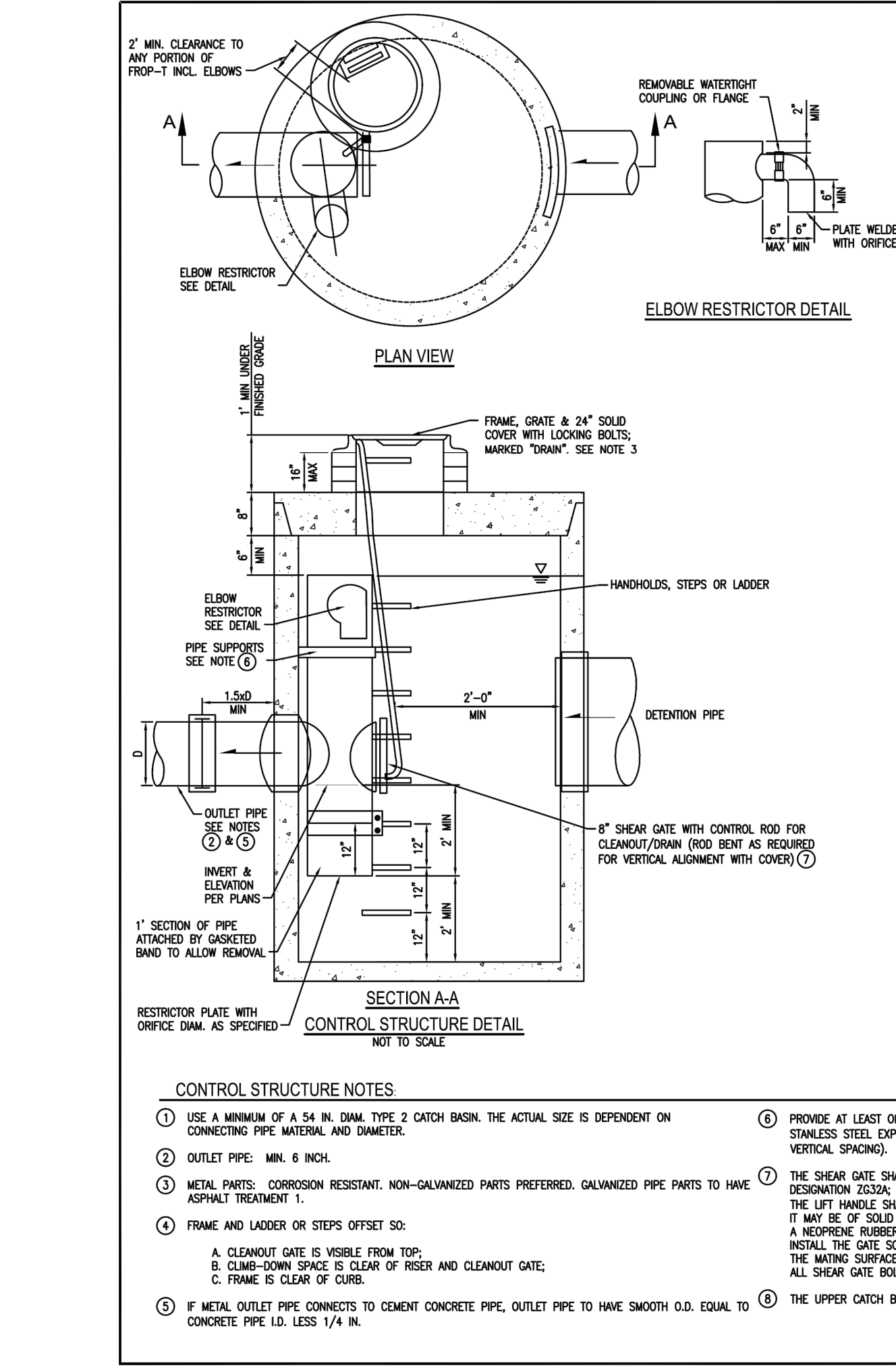


NOTES

1. SEE S-27 FOR INSTALLATION DETAILS.

CITY OF MERCER ISLAND STANDARD DETAILS SEWER CLEAN OUT DETAIL

6-5-2009 NO SCALE S-19 APPROVED



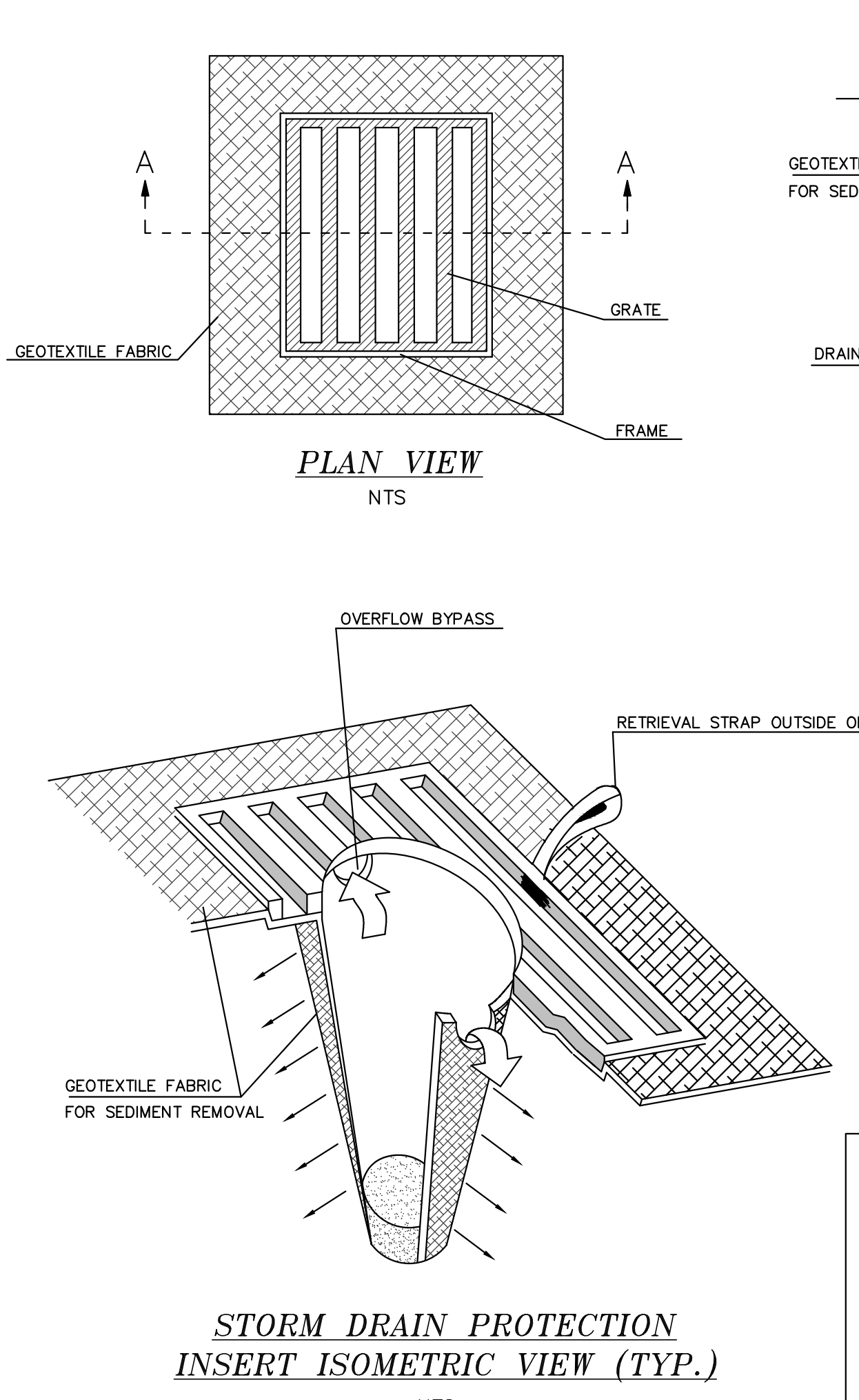
ATTACHMENT 1 CITY OF MERCER ISLAND ON-SITE DETENTION SYSTEM WORKSHEET (FOR NEW PLUS REPLACED IMPERVIOUS AREA OF 9,500 SF OR LESS)

OWNER: BARCELO HOMES ADDRESS: 7216 93RD AVENUE SE PREPARED BY: G2 CIVIL
 PERMIT #: MERCER IS. WA. 98040 PHONE: (425) 821-5038
 DATE: APRIL 22, 2022

NEW PLUS REPLACED IMPERVIOUS DETENTION PIPE LENGTH (FT): 64.0 ORFICE #1 DIA. 1/2" INCH ELEV. 210.55
 SURFACE AREA (SF): DETENTION PIPE DIA. (INCH): 120 (10') ORFICE #2 DIA. 47/64" INCH ELEV. 216.30
 SOIL TYPE: PER COM. PIPE MATERIAL: PER COM. ORFICE #3 DIA. 7/16" INCH ELEV. 216.55

ON-SITE DETENTION SYSTEM NOTES:

1. CALL DEVELOPMENT SERVICES (206-275-7000) 24 HOURS IN ADVANCE FOR A DETENTION SYSTEM INSPECTION BEFORE BACKFILLING AND FOR FINAL INSPECTIONS.
2. RESPONSIBILITY FOR OPERATION AND MAINTENANCE OF DRAINAGE SYSTEMS ON PRIVATE PROPERTY IS RESPONSIBILITY OF THE PROPERTY OWNER. MATERIAL ACCUMULATED IN THE STORAGE PIPE MUST BE REMOVED FROM CATCH BASINS TO ALLOW PROPER OPERATION. THE OUTLET CONTROL ORFICE MUST BE KEPT OPEN AT ALL TIMES.
3. PIPE MATERIAL, JOINT, AND PROTECTIVE TREATMENT SHALL BE IN ACCORDANCE WITH SECTION 7.04 AND 9.02 OF THE WSDOT STANDARD SPECIFICATION FOR ROAD, BRIDGE, AND MANHOLE CONSTRUCTION, LATEST VERSION. SUCH MATERIALS INCLUDE THE FOLLOWING: LINED CORRUGATED POLYETHYLENE PIPE (LOPE), ALUMINIZED TYPE 2 CORRUGATED STEEL PIPE AND PIPE ARCH (MEETS AASHTO DESIGNATIONS M24 AND M30), CORRUGATED OR SPIRAL RIB ALUMINUM PIPE, OR REINFORCED CONCRETE PIPE. CORRUGATED STEEL PIPE IS NOT ALLOWED.
4. FOOTING DRAINS SHALL NOT BE CONNECTED TO THE DETENTION SYSTEM.



STORM DRAIN PROTECTION INSERT SECTION A-A

STORM DRAIN PROTECTION INSERT ISOMETRIC VIEW (TYP.)

NOTES

1. USE A MINIMUM OF A 5/8 IN. DIAM. TYPE 2 CATCH BASIN. THE ACTUAL SIZE IS DEPENDENT ON CONNECTING PIPE MATERIAL AND DIAMETER.
2. OUTLET PIPE: MIN. 6 INCH.
3. METAL PARTS: CORROSION RESISTANT, NON-GALVANIZED PARTS PREFERRED. GALVANIZED PIPE PARTS TO HAVE ASPHALT TREATMENT 1.
4. FRAME AND LADDER OR STEPS OFFSET 50".
 - A. CLEANOUT GATE IS VISIBLE FROM TOP.
 - B. CLAMP-DOWN SPACE IS CLEAR OF RISER AND CLEANOUT GATE.
 - C. FRAME IS CLEAR OF CURB.
5. IF METAL OUTLET PIPE CONNECTS TO CEMENT CONCRETE PIPE, OUTLET PIPE TO HAVE SMOOTH O.D. EQUAL TO CONCRETE PIPE I.D. LESS 1/4 IN.
6. PROVIDE AT LEAST ONE 3 X 0.090 GAUGE SUPPORT BRACKET ANCHORED TO CONCRETE WALL WITH 5/8 IN. STAINLESS STEEL EXPANDED BOLTS OR EMBEDDED SUPPORTS 2 IN. INTO CATCH BASIN WALL (MINIMUM 3"-0" VERTICAL SPACING).
7. THE SHEAR GATE SHALL BE MADE OF ALUMINUM ALLOY IN ACCORDANCE WITH ASTM B 208 AND ASTM B 275, DESIGNATION 2023A, OR CAST IRON IN ACCORDANCE WITH ASTM A 48, CLASS 300. THE LIFT HANDLE SHALL BE MADE OF A SINGLE METAL TO THE GATE TO PREVENT GALVANIC CORROSION. IT MAY BE OF SOLID ROD OR HOLLOW TUBING, WITH ADJUSTABLE HOOK AS REQUIRED. A NEOPRENE RUBBER GASKET IS REQUIRED BETWEEN THE RISER MOUNTING FLANGE AND THE GATE FLANGE. INSTALL THE GATE SO THAT THE LEVEL-LINE MARK IS LEVEL WHEN THE GATE IS CLOSED. THE MATING SURFACES OF THE LID AND THE BODY SHALL BE MACHINED FOR PROPER FIT. ALL SHEAR GATE BOLTS SHALL BE STAINLESS STEEL.
8. THE UPPER CATCH BASIN IS REQUIRED IF THE LENGTH OF THE DETENTION PIPE IS GREATER THAN 50 FT.

CONTROL STRUCTURE NOTES

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APPROVED: CITY OF MERCER ISLAND DEVELOPMENT SERVICES GROUP Date

811
Know what's below. Call before you dig.

G2 CIVIL
1375 NW MALL ST, SUITE 3
ISSAQUAH, WA 98027
PHONE: (425) 821-5038

C.O.M.I. STANDARD DETAILS
LOT 1 - SFR (93RD AVE SE)

PREMIUM HOMES OF MERCER ISLAND LLC
PO BOX 1639 98040
MERCER ISLAND, WA 98040
(206) 724-1072

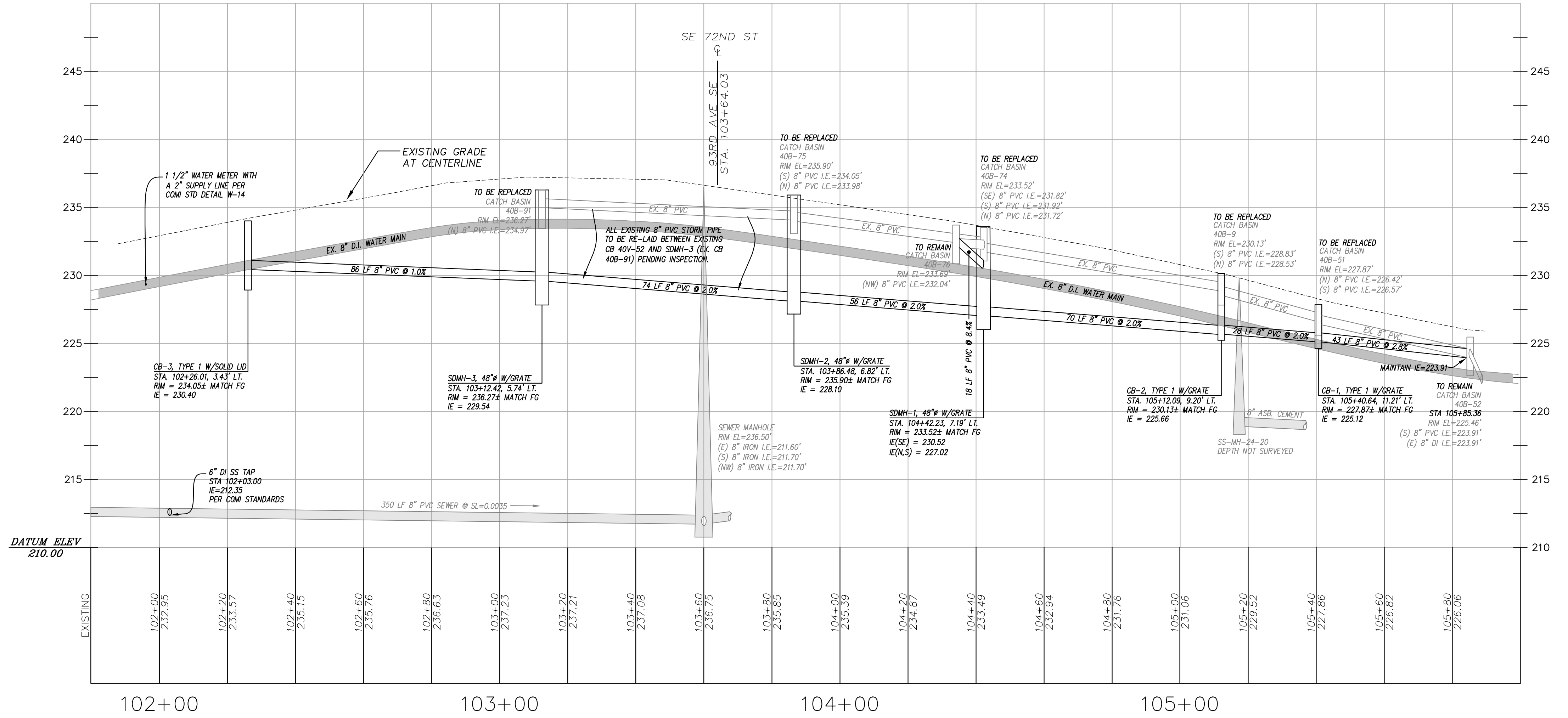
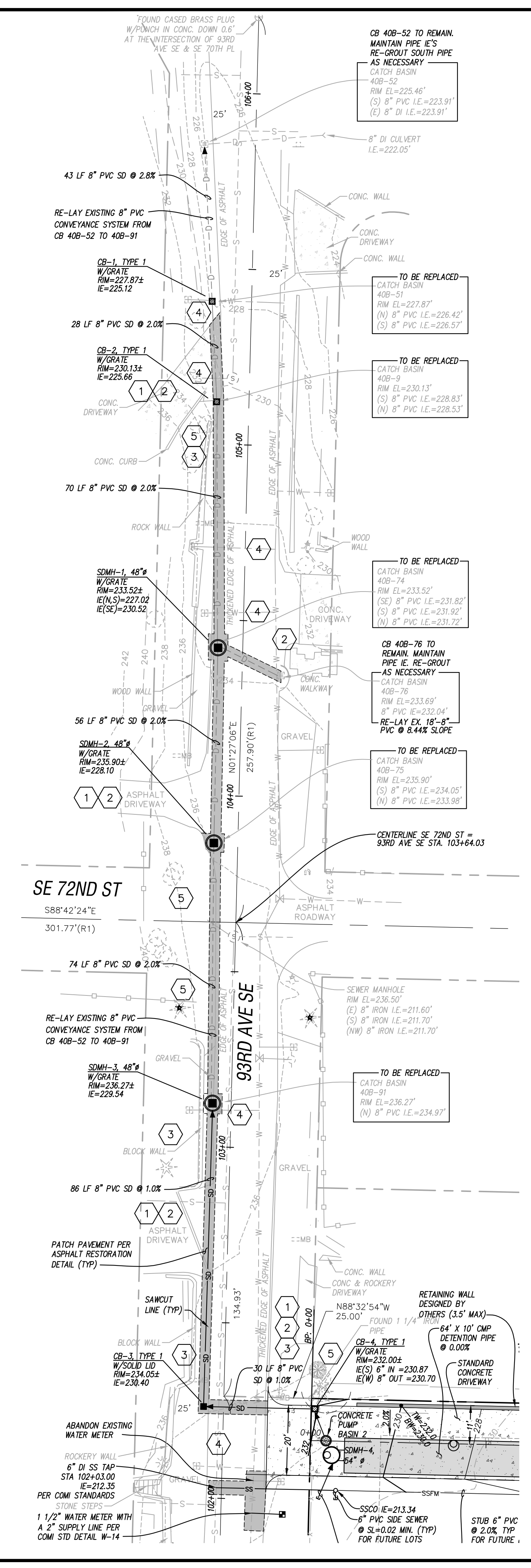
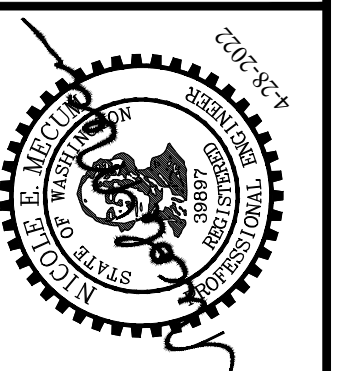
NOTES

DATE	CHNG BY	DATE	NOTES
3-30-21	KAL	3-30-21	SUBMITTED TO CLIENT
5-25-21	KAL	5-25-21	REVISED PER CITY COMMENTS
4-28-22	NEM	4-28-22	REVISED PER CITY COMMENTS

SHEET
5 of 6

JOB NO.

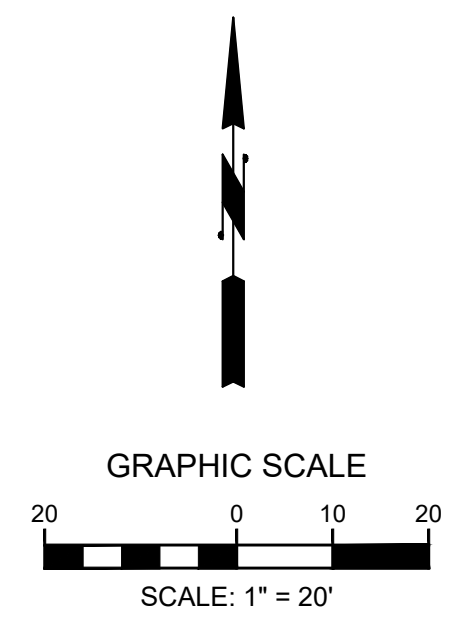
NW 1/4 OF SE 1/4 OF SEC. 30, TWP. 24N., RNG. 5E., W.M.



93RD AVE SE C/L PROFILE
H: 1"=20' V: 1"=5'

OFFSITE RESTORATION NOTES

- PRIVATE DRIVEWAY TO BE RESTORED TO PRE-EXISTING CONDITION OR BETTER.
- 48 HOUR ADVANCED NOTICE TO BE PROVIDED TO PROPERTY OWNER PRIOR TO BEGINNING WORK
- PORTION OF EXISTING ROCK, BLOCK, AND/OR LANDSCAPE WALL MAY REQUIRE REMOVAL TO FACILITATE CONSTRUCTION. ANY DISTURBANCE TO WALL SHALL BE RESTORED TO PRE-EXISTING CONDITION UPON COMPLETION OF CONSTRUCTION.
- WATER SERVICES AND/OR ANY UTILITIES CROSSING PIPE ALIGNMENT TO BE POTHOLED PRIOR TO CONSTRUCTION. CONTRACTOR TO PROTECT AND MAINTAIN EXISTING WATER SERVICE DURING INSTALLATION OF NEW UTILITIES.
- EXISTING TREES TO BE EVALUATED BY A CERTIFIED ARBORIST PRIOR TO CONSTRUCTION. ADDITIONAL PRECAUTIONARY MEASURES MAY BE REQUIRED DURING CONSTRUCTION.



APPROVED: _____ Date _____
CITY OF MERCER ISLAND DEVELOPMENT SERVICES GROUP

DATE	NOTES
3-30-21 <td>SUBMITTED TO CLIENT</td>	SUBMITTED TO CLIENT
5-25-21 <td>REVISED PER CITY COMMENTS</td>	REVISED PER CITY COMMENTS
4-28-22 <td>REVISED PER CITY COMMENTS</td>	REVISED PER CITY COMMENTS

1375 NW MALL ST, SUITE 3
ISSAQUAH, WA 98027
PHONE: (425) 821-5038

OFF SITE STORM EXTENSION
LOT 1 - SFR (93RD AVE SE)

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PO BOX 1639 98040
MERCER ISLAND WA 98040
(206) 724-1072